



PLANNING COMMISSION AGENDA

April 2, 2024 – 7:00 P.M.

LOCATION: City of Northville Municipal Building Council Chambers, 215 W. Main St., Northville MI 48167,
248-449-9902

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. APPROVE MINUTES** - March 5, 2024
- 4. AUDIENCE COMMENTS** (limited to brief presentations on matters not on the agenda)
- 5. REPORTS & CORRESPONDENCE**
 - A. City Administration
 - B. Planning Commissioners
 - C. Other Community/Governmental Liaisons
 - D. Correspondence
- 6. APPROVE AGENDA**

Consideration of agenda items generally will follow this order:

 - A. Introduction by Chair
 - B. Presentation by City Planner
 - C. Commission questions of City Planner
 - D. Presentation by Applicant (if any)
 - E. Commission questions of Applicant (if item has an applicant)
 - F. Public comment
 - G. Commission discussion & decision
- 7. PUBLIC HEARINGS**
- 8. SITE PLAN AND ZONING CHANGE APPLICATIONS**
 - a. 340 N. Center – Mixed-Use Retail & Residential Project
- 9. OTHER PLANNING COMMISSION BUSINESS**
- 10. ADJOURN** - *The next regularly scheduled meeting April 16, 2024*

The City of Northville will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting to individuals with disabilities requiring such services. All requests must be made to the City Clerk at least five (5) business days before the meeting in writing or by phone, 215 W. Main Street, Northville, MI 48167 (248) 349.1300. Minutes of the meeting are available at the City Clerk's Office and online at www.ci.northville.mi.us

CITY OF NORTHVILLE
215 W. Main Street, Northville MI
Planning Commission Meeting Minutes
March 5, 2024
7:00 PM

1. CALL TO ORDER

Chair Tinberg called the meeting to order at 7:00pm.

2. ROLL CALL

Present: Thomas Barry
Paul DeBono
Jeff Gaines
David Hay
Steve Kirk
Carol Maise
William Salliotte
Donna Tinberg

Absent: AnnaMaryLee Vollick

Also present: City Planner Elmiger
City Manager Lahanas
Mayor Turnbull
Mayor Pro Tem Moroski-Browne

3. APPROVE MINUTES – February 6, 2024

MOTION by Barry, support by Hay, to approve the February 6, 2024 meeting minutes as submitted.

Motion passed unanimously by voice vote.

4. AUDIENCE COMMENTS (limited to brief presentations on matters not on the agenda)
None.

5. REPORTS & CORRESPONDENCE

A. City Administration

City Manager Lahanas

- City Council will hold a water infrastructure special work session on March 21, in regards to reviewing infrastructure needs and setting rates.
- A committee is being formed to advance the Fort Griswold playground reconstruction.
- Bids were out for gateway plaza accessibility designs. Work is expected in summer or fall.

- Northville Downs project demolition permit applications have been received and are being reviewed by the building department.

Mayor Turnbull

- Northville Downs asbestos removal has begun.
- Rouge River daylighting is on target to be completed by the end of 2024.
- Ford Field renovation is moving forward; Phase I should be completed in 2024.
- Northville Tree Champions was granted permission by Council to carve the tree trunk located behind City Hall and the Library.
- Funding has been obtained for The Downs log cabin relocation.
- Cemetery and Bi-Centennial Task Forces are being formed.
- Regarding salvaging some kind of historic markers for River Park and Central Park, a group toured all the buildings that are being demolished and did not find as many historic items to preserve as had been expected.

B. Planning Commissioners

Historic District Commission - Gaines

HDC met February 19, 2024.

- Approved application at 200 N. Center to replace the existing signage with signs that will be very similar to the original Detroit Edison building signs.
- Reviewed the updated Historic Review Design Guidelines draft.

Sustainability - Barry

The committee was focused on 2024-25 carbon reduction goals and objectives.

Board of Zoning Appeals - Tinberg

March 6 BZA meeting cancelled.

C. Other Community/Governmental Liaisons

None.

D. Correspondence

None.

6. APPROVE AGENDA

Consideration of agenda items generally will follow this order:

- Introduction by Chair
- Presentation by City Planner
- Commission questions of City Planner
- Presentation by Applicant (if any)
- Commission questions of Applicant (if item has an applicant)
- Public comment
- Commission discussion & decision

MOTION by Salliotte, support by Maise, to approve the agenda as published.

Motion passed unanimously by voice vote.

7. PUBLIC HEARINGS

None.

8. SITE PLAN AND ZONING CHANGE APPLICATIONS

a. 340 N. Center - Commercial/Residential Building

Introduction by the Chair

Chair Tinberg explained that the Commission had referred the application for 340 N. Center back to the applicant on January 9, 2024, when the applicant had been asked to consider and incorporate Commission feedback into the site plan.

Tonight the Commission will review the revised site plan and consider the combined preliminary and final site plan for approval.

Presentation by City Planner

Referencing her December 28, 2023/revised February 26, 2024 review memorandum, City Planner Elmiger highlighted the following outstanding issues:

- Since the January 9 Planning Commission meeting, the applicant has provided the required number of street trees, but has not arranged the trees as labeled, in that all the street trees were shown on Center; all the replacement trees were shown on Rayson. The Commission should determine if the tree layout is appropriate.
- The ordinance requires streetscape furnishings. The project includes street trees, tree grades, special concrete furnishings, pavers and decorative lighting. An existing decorative light pole will remain. The Commission should determine if the proposed streetscape furnishings are appropriate.
- Remaining review comments can be handled administratively.
- City Traffic Engineer Deering had indicated that the parking lot circulation was straightforward and there were no issues with short-wheeled trucks making deliveries.
- Public Works Director Domine had indicated that he supported adding bioswale or rain garden infiltration stormwater management techniques to this site, which improvements should be shown on the plan.
- The property owner at 114 Rayson had indicated that a previous parking agreement with the Brew Pub had expired. There was no parking agreement with 340 N. Center.

Commission questions of City Planner

In response to questions from the Commission, City Planner Elmiger provided the following:

- The reference to improvements in the 100-year floodplain on page 7 of the review referred strictly to the asphalt parking lot.

- The submission documents indicated that the rain garden would infiltrate water from the roof of the building.
- The proposed parking would accommodate a dine-in restaurant.

Presentation by Applicant

Joseph Guido, Guido Architects 23419 Ford Road, Dearborn, was present on behalf of this application for preliminary and final site plan approval. Owner Al Bazy, MBB Investments LLC, 50026 Drakes Bay Drive, Novi, was also present.

Mr. Guido provided the following information:

1. The existing sidewalk along Center Street will be removed and relocated east of the existing utility poles and extend to the face of the building. The sidewalk will contain sections of brick pavers along the storefronts to delineate the public walk.
2. The area between the new walk and the existing curb along Center Street will be landscaped as required.
3. The building floor plan had been revised to add a 3-story projection to the north face of the building, to comply with the 15' maximum building setback requirement along the street rights-of-way, and to match the greater than 90-degree angle corner, in order to conform to setback requirements.
4. The building height dimensions had been corrected on sheet A-2.
5. The applicant was in preliminary discussions with a restaurant for the north lease space. The patio would serve as an outdoor dining area for that restaurant. The patio was not intended to be a public plaza.
6. Sixteen resident-only parking spaces had been added along the east property line. There will be restricted parking after 6 p.m., when the commercial uses begin to close down.
7. An additional walk had been added to the south parking area to connect the public walk to the walk east of the building.
8. Two additional bike racks had been added to the east side of the building, bringing the total number of bike racks to two.
9. The trees shown in the site triangle have been removed from the landscape plan.
10. The decorative street lighting along Center Street will remain.
11. The decorative wall lights will be specified to meet ordinance requirements.
12. The architectural style of the building exterior had been modified to reflect the traditional character in the CBD, including modified window proportions, cadence, and alignment. In addition to full brick facades, the applicant added cast stone water tables, lintels, sills, stone accents, and framed cornices, as well as Juliette balconies with glass door walls. The style of the residential home conversions on Center Street is more compatible with the residential character and scale existing on the west side of Center Street. The proposed development is more compatible with recent commercial and residential developments on the east side of Center Street.
13. Rooftop mechanical screens had been added to the building elevations.
14. Rooftop use would be limited to mechanical equipment. The roof structural design will not allow for any pedestrian use of the roof.
15. HVAC requirements would be met with interior furnaces, eliminating any exposed grilles on the building exterior.

16. A small bioswale had been added to the north end of the building that would infiltrate a portion of the roof's stormwater runoff. Additional storm water detention measures are not required.
17. The parking lot will accommodate deliveries and garbage removal.

Commission questions of applicant

In response to questions, Mr. Guido provided the following further information:

- The location of rooftop screens has not been determined but will meet ordinance requirements. The screens would likely be louvered metal.
- There are two species of street trees proposed – sweetgum and tulip. Both are shade trees.
- The applicant has no objections to providing a public sidewalk easement along North Center Street.
- The proposed wall light (Fixture A) will be downlit.
- Limited interior wall space in corner bedroom units make it difficult to add a window to the north facade. The bedroom units already have 2 windows, and need wall space for furniture placement.
- Exhaust would travel through the building and not through ports sticking out the side of the architecture.
- All sidewalk ramps would have tactile paving bumps, as required by the ADA (Americans with Disabilities Act).
- The differentiation band between floors two and three was based on proportionality and not on a separation of uses.

Commissioner Salliotte suggested a differentiation band be added between the first and second story, to allow for retail tenants to potentially modify the materiality of their space – within limits – in order to express their brand and set themselves apart from the rest of the building. This type of differentiation provides a layer of texture and excitement to the street-level experience.

Using images from the 37206 Building as examples, Commissioner DeBono suggested adding a material change on the first floor, and finding ways to celebrate the corner. This submission was far better than the prior design, but it could still be tweaked to help provide street-level excitement.

Mr. Guido pointed out the slight brick color differentiation between residential and retail uses.

Public comment

Jennifer Moss, 547 W. Main, said the changes made since the January meeting resulted in a better building. She supported use changes, but also asked the applicant to keep in mind the specialness of Northville, and continue to tweak the design.

Clarifying discussion

As no other public indicated they wished to speak, Chair Tinberg closed public comment and brought the matter back to the Commission. Chair Tinberg asked the Commission to

address the question of whether there was anything standing in the way of preliminary and/or final site plan approval this evening.

Commissioner Gaines referenced Zoning Ordinance Section 10.05, Central Business District-Overlay (CBD-O), specifically subsections m., n., and o. Subsection m., Stormwater Management, sought alternatives to standard delivery of rainwater into the storm system, and developers were encouraged to consult the “Low Impact Development Manual for Michigan” as they proposed alternatives. The applicant had responded to this requirement by providing a small rain garden at the north end of the site to infiltrate some of the water coming off the roof, but the token rain garden will not have much impact. There are other ways to provide LID techniques, including porous pavement, green roofs, vegetated roofs, and placement of a bioswale at the south and east ends of the site. The rainwater from the roof had not been appropriately addressed.

Commissioner Gaines thought the architecture was only a small improvement from the January submittal. Zoning Ordinance Section 10.5.n. Architecture required that the development be in character and complementary to the rest of the downtown and surrounding neighborhoods, calling out specific design components, such as the use of generous window areas and architectural detail. While the latest iteration of this development had some positive modifications, it did not go far enough to be considered compatible with existing downtown buildings and structures, as well as some of the newer buildings that have been constructed to the north of this development. Some of the proportions are awkward, and the placement of materials could be embellished.

Commissioner Gaines also thought that Zoning Ordinance Section 10.5.o. Corner Building Standards had not been met. There was nothing celebratory about the building at this corner. Instead, the applicants seemed to have offered the bare minimum response to the ordinance.

Commissioner Barry said that while more could be done to delineate the corner, the building design and building materials had come a long way, and the applicants had honored many of the Commission’s requests. As he had said in the January meeting, the good news and the bad news is that this is a great site that is seen by the community; it was important that this building fits with the ordinance and meets community expectations.

Commissioner Hay was appreciative of the improvement of the building design over what was presented in January. The applicant had listened carefully to the Commission and responded to comments made. He did not see anything in the way of granting preliminary and final approval this evening, and asked City Planner Elmiger whether there were any outstanding items that would preclude approval.

City Planner Elmiger explained that there were some subjective criteria in the ordinance. In her opinion the ordinance criteria had been met, but the Planning Commission needed to decide whether or not the subjective criteria had been met. The architectural criteria were listed on page 13 of her review. Public Works Director Domine had commented regarding “if” the site can handle infiltration; this as yet was an unknown.

Two-thirds of the parking lot is in the floodplain, so it is likely that those soils are going to be in a high-water table, and will not be able to infiltrate; infiltration on the rest of the site was to be determined.

Commissioner Hay noted that on page 7 of the Planner's review, the question of whether there can be bioswales or other ways of accommodating more of the stormwater was deferred to the City Engineer during the engineering review stage, as was the review of all improvements in the 100-year flood plain. Commissioner Hay suggested that the Commission make a positive determination, conditioned on engineering approval of the infiltration on site.

Commissioner DeBono agreed that there had been significant improvements since the last submission, but the design still missed the corner building standards as listed in the ordinance. For instance, the patio that was now placed on the corner would be a better fit at the southern end of the building. The north and west faces of the building need to have a better presence for the street level retail. Ground level delineation could improve in terms of material or color change.

Commissioner Salliotte said that the corner treatment should better meet the corner standards in the ordinance. This would not require a major overhaul, but things could be done to the corner and street level presence to enhance the building as a whole.

Commissioner Maise agreed with other Commissioners' comments regarding the improvement over the last submission, as well as the need to meet corner building standards. She spoke to the importance of maintaining the raingarden; a maintenance agreement needed to be in place. However, the bigger question was whether it would be better to just consider preliminary approval tonight, and wait until after engineering review to grant final approval. Will the bioswales and raingarden be possible, based on what is discovered during engineering review? What happens if the Commission approves the site plan only to have the applicants find out that the City Engineer will not approve the raingarden?

Chair Tinberg asked the Commission if they agreed with Commissioner Maise about only considering preliminary approval until after the engineering review. Commissioner Barry agreed that it would be good to wait. Commissioner Kirk noted the proximity of the watershed; it would be good to have the Engineer's input. Commissioner Hay referred to the applicant's environmental engineer's report that accompanied the submission, which gave some information. Northville's process did not require engineering review prior to site plan approval.

City Planner Elmiger asked the applicants to address whether their engineer had addressed whether the bioswale will function at its location on the site. She noted that the site is too small to require a stormwater permit from the County.

Mr. Guido said he had talked with their engineer, who indicated that the stormwater mitigation is not what they would prefer for runoff mitigation, but was the only option for this site. The raingarden is basically a small two to three foot depression with proper plantings around it with a drain at a certain elevation. When the water gets to that

elevation, it will overflow into the drain. In normal conditions the area will pond until the water soaks in. This is not ideal, but is the best the applicants could do. The applicants thought that taking a portion of the roof runoff and running it through the bioswale was better than nothing.

Commissioner Maise raised a question about dumpster location and orientation. When using the Center Street driveway, a driver's first view is of the dumpster gates. Dumpster gates were not always kept closed.

Commissioner Gaines was concerned that until the engineering review, the Commission did not know what it was getting in terms of stormwater management. He pointed out that the LID techniques listed in the ordinance helped filtrate the water. Could using LID techniques have positive impacts across the entire site? Was it known how much of an impact the proposed bioswale would have? The answers to these questions were important, and would impact whether Commissioner Gaines could support final approval.

Commissioner Kirk pointed out past instances where the Commission asked that corner building features be enhanced, and also recalled an instance where fake windows were used to enhance the appearance of a blank wall.

Chair Tinberg suggested a change in brick pattern on the north wall. Without adding something to the corner wall the presentation will be cold and a little forbidding.

Commissioner DeBono agreed, but also emphasized that the need to enhance the corner treatment was bigger than the single wall; the corner needed to be addressed holistically. Addressing the corner could change the footprint or the design of the building, which would stand in the way of preliminary approval.

Commissioner Gaines said that the Rayson Street elevation needed to be treated as a building front.

In response to comments, City Planner Elmiger said that the building design was in response to the required setbacks along Rayson – a minimum of 10' and a maximum of 15'. The Commission could waive or modify design standards and landscape requirements, which did not include setbacks. The Commission could also modify parking requirements.

The Commission further discussed possible options for enhanced corner design, including a shared parking agreement in order to reduce the number of parking spaces, to allow for a modified building footprint.

Chair Tinberg asked the Commission to address other outstanding questions and issues in the Planner's review, and the consensus of the Commission appeared to support:

- The tree arrangement as shown meets the requirement for street trees.
- The streetscape amenities meet the intent of the ordinance.

Chair Tinberg recognized Mr. Bazzy.

Mr. Bazzy explained that the building layout was limited by the required setbacks, and that losing parking spaces in order to move the building would be a problem for residential and retail tenants. They did not want to pursue a shared parking agreement.

Commissioner Gaines thought that changes in the architecture without modifying the setbacks could provide the corner enhancement the Commission was seeking. Treating the north elevation as a street front, especially at grade, would be a big help.

Chair Tinberg said the Commission could grant preliminary and final approval, grant only preliminary approval, or refer the application back to the applicant. She suggested the Commission consider granting preliminary approval this evening.

Commissioner Hays supported granting preliminary and final approval. The application met current standards.

Commissioner DeBono said the building appeared to be a few feet back from the setback requirements, and could come further north under the current standards. This should be looked at before granting preliminary approval.

Commissioner Barry agreed, as did Commissioner Gaines. Preliminary approval should not yet be granted.

Commissioner Kirk thought the site plan was ready for preliminary approval.

Commissioner Maise said she could go either way. There were no criteria for preliminary approval that were not being met. The applicant had made good strides forward and had good direction.

Commissioner Salliotte said that enhancing the corner could lead to a massing adjustment of the corner, so preliminary approval would not be appropriate at this time.

MOTION by Salliotte, support by Gaines, to refer the request for Combined Preliminary and Final Site Plan approval proposed at 340 N. Center St, dated February 9, 2024 back to the applicant to allow the time to address:

- A. Corner treatment, including the north elevation facade.**
- B. Stormwater alternatives.**

Roll call vote:

Barry	yes
Debono	yes
Gaines	yes
Hay	no
Kirk	no
Maise	yes
Salliotte	yes

Tinberg yes

Motion passed 6-2.

9. OTHER PLANNING COMMISSION BUSINESS

None.

10. ADJOURN – *The next regularly scheduled meeting is March 19, 2024*

MOTION by Barry, support by DeBono, to adjourn the meeting.

Motion passed by voice vote.

The meeting adjourned at approximately 8:53pm.

Respectfully submitted,
Cheryl McGuire, Recording Secretary



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

March 20, 2024

City of Northville Planning and Zoning
215 W. Main St.
Northville, MI 48167

**Re: 340 Center Street
City of Northville, Wayne County, Michigan
Site Plan Review**

To Whom it May Concern:

Per Wayne County's Stormwater Management Ordinance, the site in question does not require stormwater management practices, yet the site is still subject to review and approval by the governing entity. The owner is taking an active approach in managing their site runoff via a small bioswale area. The site plan depicts the said bioswale area between the proposed building and northern property line. This bioswale would contain water-tolerable plantings and loose soils that allow for water containment.

Using the Wayne County method for Channel Protection, during a 1" storm event the total building would require 438 CF of storage per the equation below:

$$V_{cpvc} = A * C * 3,630$$

$$A = 5,525 \text{ S.F. building area} / 43,650 \text{ S.F.} = 0.127 \text{ acres}$$

$$C = 0.95 \text{ (impervious surface)}$$

$$V_{cpvc} = 0.127 * 0.95 * 3,630 = 438 \text{ CF required for whole building}$$

The proposed is designed to hold 155 CF of storage volume, up to 1-foot in depth, meaning that 35% of the roof water can be contained during the 1" storm event.

In a situation where the bioswale would not reach capacity, water would infiltrate into the soil and plant material provided. In a larger event, water would be stored to the 1-foot depth, where an overflow structure would be provided, connecting the bioswale directly to the parking lot drainage system.

Should you have any additional questions, please feel free to contact me at your earliest convenience.

Sincerely,

NOWAK & FRAUS ENGINEERS

A handwritten signature in dark ink, appearing to read 'Patrick Williams', is written over a light blue horizontal line.

Patrick Williams, PE
Principal

MIXED USE RETAIL & APARTMENT BUILDING

340 N. CENTER STREET **NORTHVILLE, MICHIGAN**

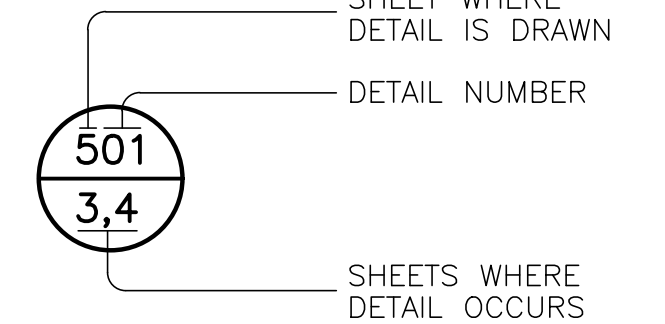


OWNER:	ARCHITECT:	SURVEYOR:	CIVIL ENGINEER:	LANDSCAPE ARCHITECT:
BAZZY INVESTMENTS, LLC 4770 GREENFIELD RD. DEARBORN, MICHIGAN 48126 (313) 477-0678 al@bazyenterprises.com	GUIDO ARCHITECTS INC. 23419 FORD ROAD DEARBORN, MICHIGAN 48128 (313) 274-7800 guido@guidoarchitects.com	KEM-TEC & ASSOCIATES 22556 GRATIOT AVE. EASTPOINT, MICHIGAN 48021 (586) 772-7222 tsycko@kemtec-survey.com	NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MICHIGAN 48342 (248) 332-7931 aeizember@nfe-engr.com	NAGY DEVLIN LAND DESIGN, LLC 31736 WEST CHICAGO AVENUE LIVONIA, MICHIGAN 48150 (734) 634-9208 jbdevlin.rla@gmail.com

ACP	ACOUSTICAL PANEL	DTL	DETAIL	FTG	FOOTING	LAV	LAVATORY	R	RISER/RADIUS	T&B	TOP AND BOTTOM
ACT	ACOUSTICAL CEILING TILE	DFL	DRINKING FOUNTAIN	BO	BY OWNER	LT	LIGHT	REBAR	REINFORCING BAR	TELE	TELEPHONE BOARD
AF	ABOVE FINISH FLOOR	DIA	DIAMETER	FIN	FINISH	MAT	MATERIAL	REF	REFERENCE	TEMP	TEMPERED
ALL	ALUMINUM	DIM	DIMENSION	FRP	FIBERGLASS REINF. PANELS	MAX	MAXIMUM	REV	REVISION	TD	TRENCH DRAIN
ANOD	ANODIZED	DN	DOWN	FRT	FIRE RETARDANT	MTL	METAL	RM	ROOM	THR	THRESHOLD
ASPH	ASPHALT	DR	DOOR	GA	GUAGE	MIN	MINIMUM	RO	ROUGH OPENING	TYP	TYPICAL
ARCH	ARCHITECTURAL	DS	DOWNSPOUT	GLV	GLANIZED	MO	MASONRY OPENING	RTU	ROOFTOP UNIT	UNFIN	UNFINISHED
AVG	AVERAGE	DWG	DRAWING	GFIC	GROUND FAULT INTERRUPTOR	MUL	MULLION	SV	STAIN AND VARNISH	UNLESS	UNLESS NOTED OTHERWISE
BLDG	BUILDING	EA	EACH	GLASS	GLASS	NOT	NOT APPLICABLE	SCH	SOLD OR SOLDIER COURSE	UTL	UTILITY
BLKG	BLOCKING	ELE	EACH WAY	GYP	GYPSUM BOARD	NIC	NOT IN CONTRACT	SCH	SCHEDULE	UR	URINAL
BRK	BRICK	EW	ELEVATION	HDR	HEADER	NO	NUMBER	SEC	SECTION	VCT	VINYL TILE
CMU	CONCRETE BLOCK	ESMT	EASEMENT	HDW	HARDWARE	NOM	NOMINAL	SHT	SHEET	VERT	VERTICAL
CT	CERAMIC TILE	EX	EXISTING	HM	HOLLOW METAL	NTS	NOT TO SCALE	SPECS	SPECIFICATIONS	VCT	VINYL TILE
CFM	CUBIC FEET PER MINUTE	EXT	EXTERIOR	HORIZ	HORIZONTAL	OC	ON CENTER	ST	SQUARE FEET	WDTH	WIDTH
CL	CENTER LINE	FNDN	FOUNDATION	HT	HEIGHT	OD	OUTSIDE DIAMETER	SF	STEEL	WC	WATER CLOSET
CLG	CEILING	FN	FINISH	HW	HOT WATER	PCONG	POURED CONCRETE	STR	STORAGE	WD	WOOD
CON	CONCRETE	FIN	FINISH FLOOR	HYD	HYDRANT	PT	PHYSICALLY HANDICAPPED	STR	STRUCTURAL	WH	WATER HEATER
CONT	CONTINUOUS	FD	FLOOR DRAIN	INSUL	INSULATION	PAINT	PAINT	SUSP	SUSPENDED	WIN	WINDOW
CONTR	CONTRACTOR	FL	FLOOR	JB	JUNCTION BOX	PLAM	PLASTIC LAMINATE	SV	SHEET VINYL	WP	WATERPROOF
CW	COLD WATER	FLSH	FLASHING	JST	JOIST	PLWD	PLYWOOD	SS	STAINLESS STEEL	WWF	WELDED WIRE FABRIC



THE INTERNATIONAL SYMBOL
OF ACCESSIBILITY FOR THE
PHYSICALLY HANDICAPPED TO
BE POSTED AS REQUIRED BY
MICHIGAN STATE LAW.

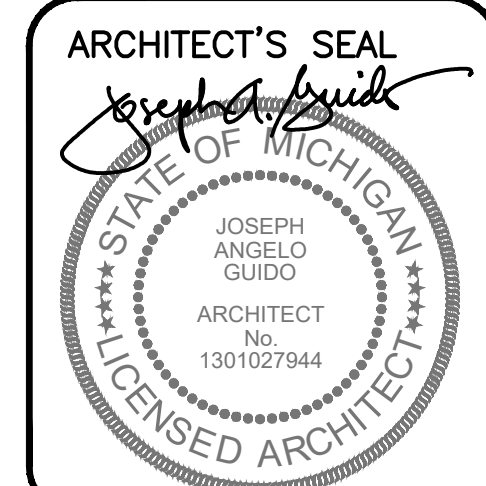


ARCHITECTURAL/STRUCTURAL

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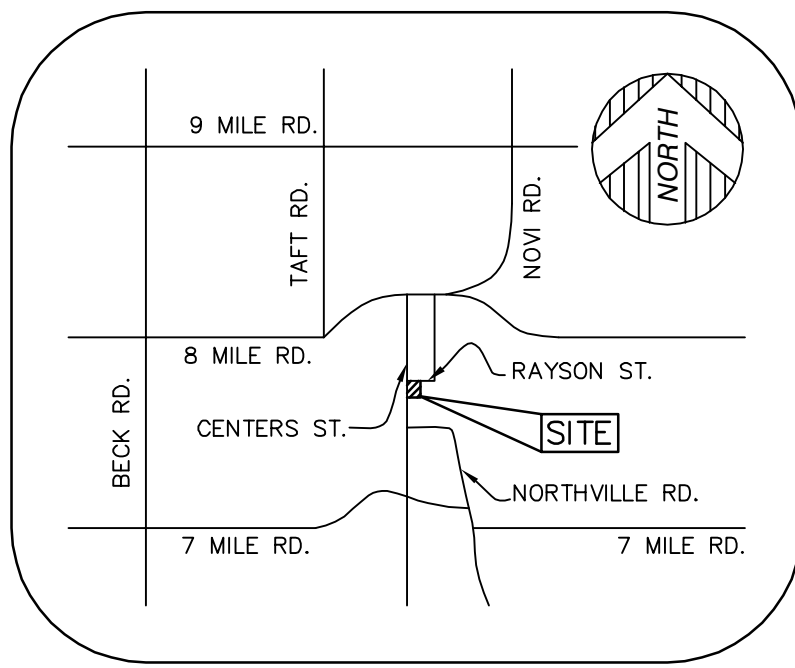
PRE-APP. SUBMITTAL	8/10/23
FINAL SPA	2/9/24
SPA RE-SUBMITTAL	3/22/24

100



T-1

TOPOGRAPHIC SURVEY



VICINITY MAP
(NOT TO SCALE)

PARCEL AREA

24,218± SQUARE FEET = 0.56± ACRES

BASIS OF BEARING

NORTH 82°48'46" EAST, BEING THE SOUTH PROPERTY LINES OF LOTS 667 THROUGH 664 AS SHOWN IN LIBER 66, PAGE 47 OF PLATS, WAYNE COUNTY RECORDS.

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

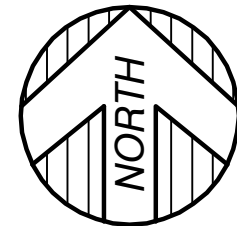
FLOOD NOTE

SUBJECT PARCEL LIES PARTIALLY WITHIN:
SPECIAL FLOOD HAZARD AREA (ZONE AE): BASE FLOOD ELEVATIONS DETERMINED. (BASE FLOOD ELEV. = 816'±)

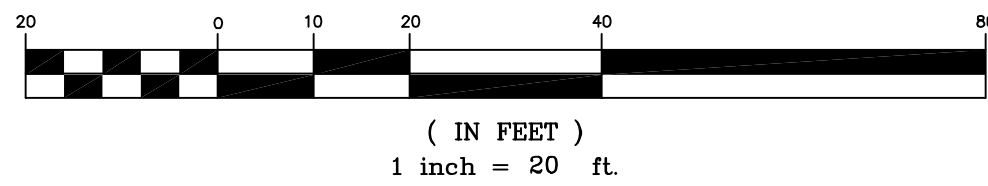
AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26163C0036E, COMMUNITY - PANEL NUMBER 260235 0036 E, DATED FEBRUARY 2, 2012, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 32341
(R&M)	FOUND MONUMENT (AS NOTED)
(R)	RECORD AND MEASURED DIMENSION
(M)	RECORD DIMENSION
○	MEASURED DIMENSION
⊗	ELECTRIC METER
⊕	UTILITY POLE
⊙	GAS METER
⊖	GAS VALVE
⊗	CLEANOUT
⊕	SANITARY MANHOLE
⊖	ROUND CATCH BASIN
⊗	STORM DRAIN MANHOLE
⊕	FIRE HYDRANT
⊖	WATER GATE MANHOLE
⊗	WATER VALVE
⊕	AIR CONDITIONING UNIT
⊖	LIGHTPOST/LAMP POST
⊗	POST
⊕	SINGLE POST SIGN
⊖	DECIDUOUS TREE
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
---	EASEMENT (AS NOTED)
---	BUILDING
---	BUILDING OVERHANG
---	CONCRETE CURB
---	PARKING
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF ASPHALT (ASPH.)
---	EDGE OF BRICK
---	EDGE OF GRAVEL
x	FENCE (AS NOTED)
---	WALL (AS NOTED)
---	OVERHEAD UTILITY LINE
G	GAS LINE
S	SANITARY LINE
D	STORM LINE
W	WATER LINE
---	CONTOUR MAJOR
---	CONTOUR MINOR



GRAPHIC SCALE



PROPERTY DESCRIPTION

LAND IS SITUATED IN THE CITY OF NORTHVILLE, COUNTY OF WAYNE, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:

LOTS 665, 666 AND 667, ASSESSOR'S NORTHVILLE PLAT NO. 7, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 66, PAGE 47 OF PLATS, WAYNE COUNTY RECORDS.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE WILLIAM T. SHEAHAN TITLE COMPANY CASE No. W509482, DATED MARCH 4, 2008, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

10. EASEMENT FOR RANDOLPH STREET DRAIN OVER LOTS 665 AND 667 AS SET FORTH IN RETURN OF SPECIAL COMMISSIONERS RECORDED IN LIBER 20229, PAGE 729, WAYNE COUNTY RECORDS. (AS SHOWN).

11. EASEMENT GRANTED TO DETROIT EDISON COMPANY DISCLOSED BY INSTRUMENT RECORDED IN LIBER 2577, PAGE 353, WAYNE COUNTY RECORDS. (AS SHOWN)

12. PARKING LOT EASEMENT DATED APRIL 1, 1997 AND RECORDED IN LIBER 29625, PAGE 1625, WAYNE COUNTY RECORDS, AS TO LOTS 665 AND 667. (AS SHOWN)

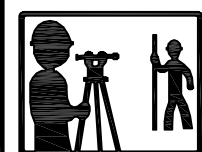
MANHOLE SCHEDULE

WATER MANHOLE (WMH #1) RIM = 821.99' INV. 12" NE= 807.31' TOP OF PIPE= 816.49'	STORM MANHOLE (SDM #2) RIM = 816.11' INV. 12" NE= 807.31' INV. 48" W= 807.11' INV. 36" NE=807.11'
WATER MANHOLE (WMH #2) RIM = 816.61' COULD NOT OPEN	SANITARY MANHOLE (SMH #1) RIM = 821.12' INV. 8" N= 813.42' INV. 8" E&S= 810.12'
ROUND CATCH BASIN (CB #1) RIM = 815.36' INV. 36" S= 808.49'	SANITARY MANHOLE (SMH #2) RIM= 814.84' INV. 8" E&W= 803.64'
ROUND CATCH BASIN (CB #2) RIM = 813.10' INV. 36" NW= 808.10' 36" SW= RESTRICTED, UNABLE TO OBTAIN INV.	SANITARY MANHOLE (SMH #3) RIM= 817.69' COULD NOT OPEN
ROUND CATCH BASIN (CB #3) RIM = 815.19' INV. 12" SW= 811.49'	SANITARY MANHOLE (SMH #4) RIM= 817.67' TOP OF MUCK= 810.17' BOTTOM OF STRUCTURE= 809.37' FULL OF DEBRIS
STORM MANHOLE (SDM #1) RIM = 815.37' INV. 36" SE&N= 808.12'	

SURVEYOR'S CERTIFICATION

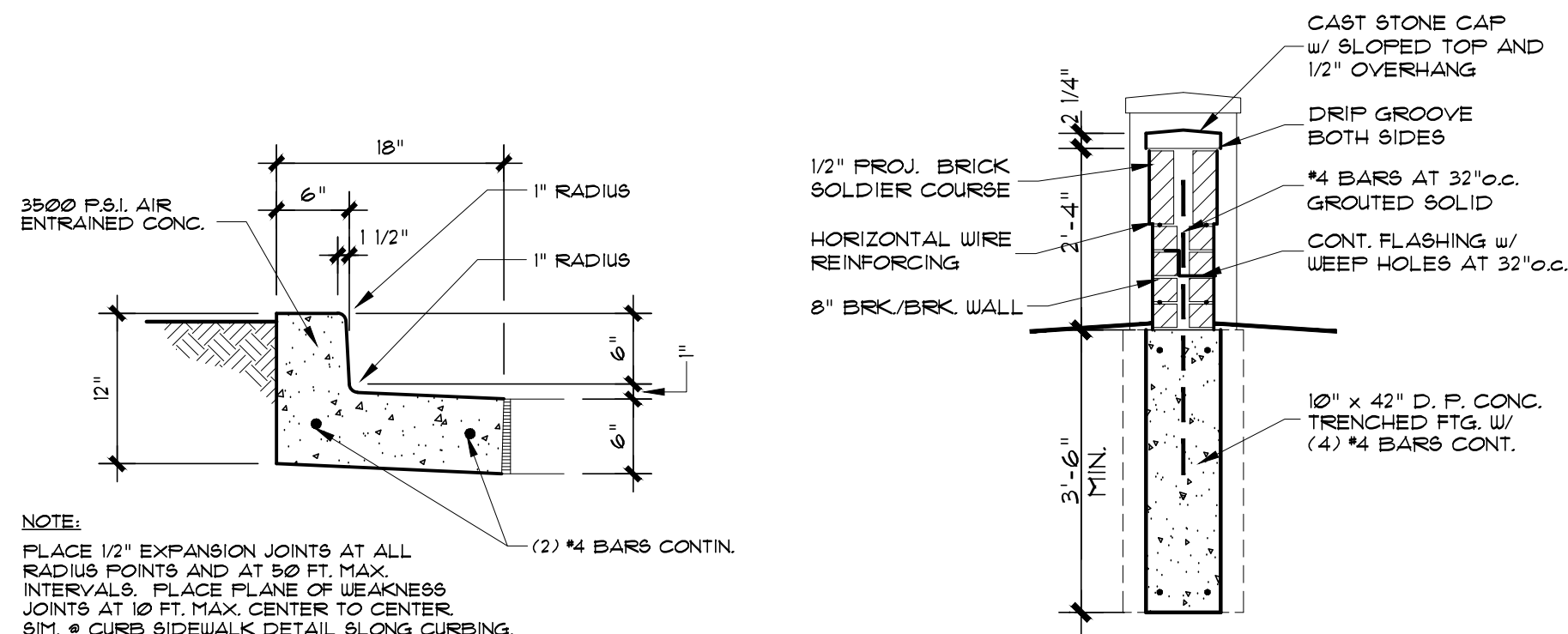
I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

THOMAS G. SMITH, P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 32341



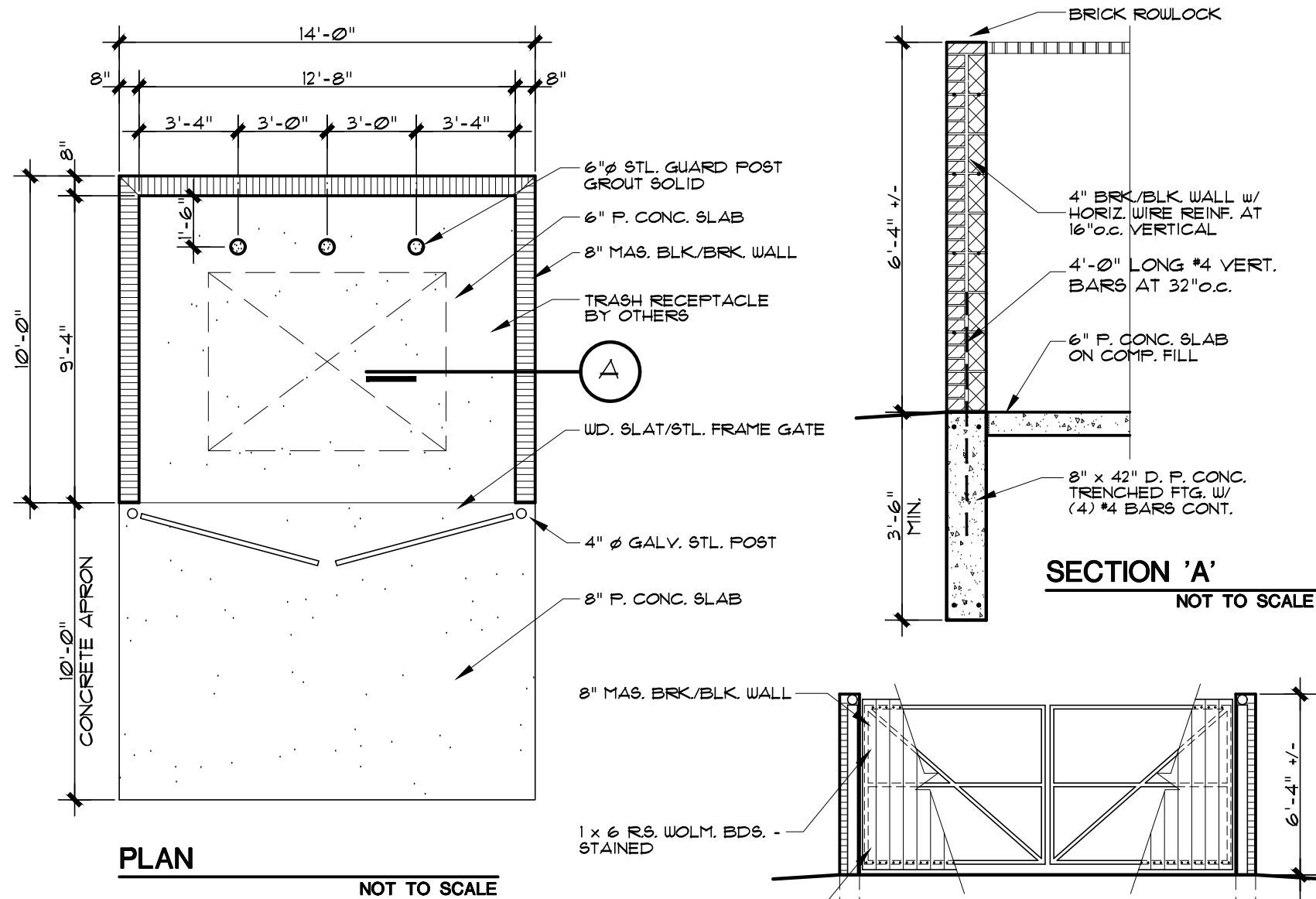
KEM-TEC & ASSOCIATES
PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS
22656 GRATIOT AVE. • EASTPOINTE, MICHIGAN 48021
(586)772-2222 • (800)295-7222 • FAX (586)772-4048

CERTIFIED TO: BMB INVESTMENTS, LLC.	
DATE: MAY 10, 2016	JOB #: 16-01359
SCALE: 1" = 20'	SHEET: 1 OF 1
DRAWN BY: DLD	REV.:



CURB w/ INTEGRAL GUTTER
NOT TO SCALE

SECTION AT PATIO WALL
NOT TO SCALE

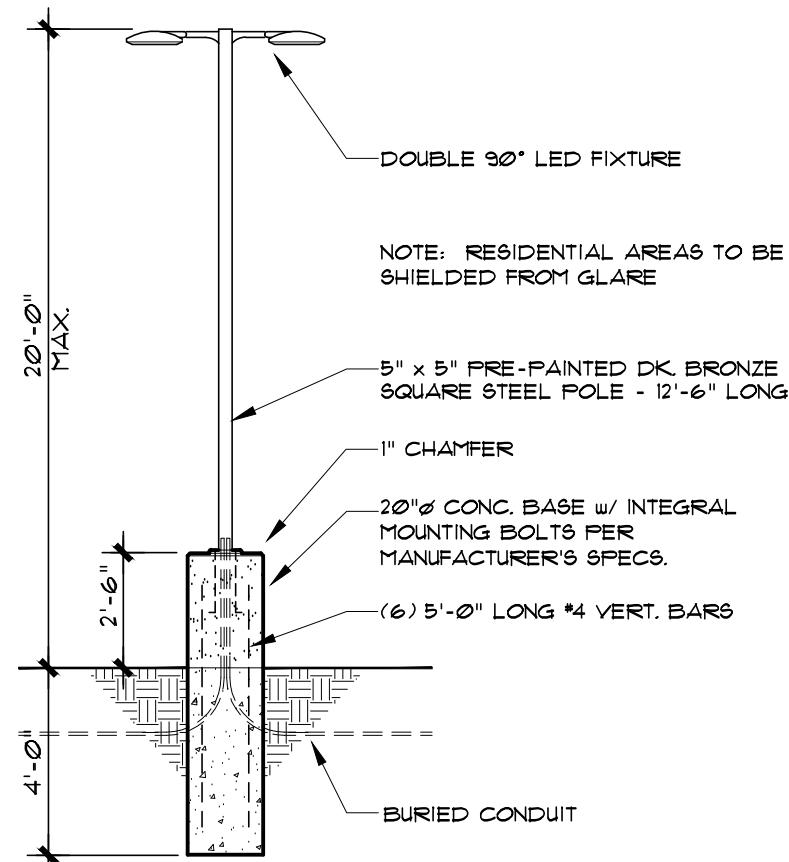


PLAN
NOT TO SCALE

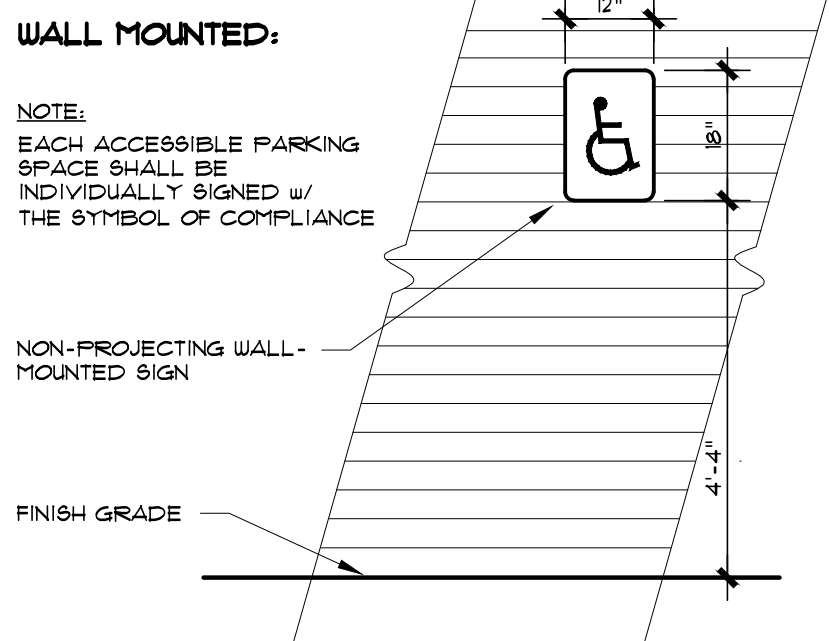
TRASH ENCLOSURE

SECTION 'A'
NOT TO SCALE

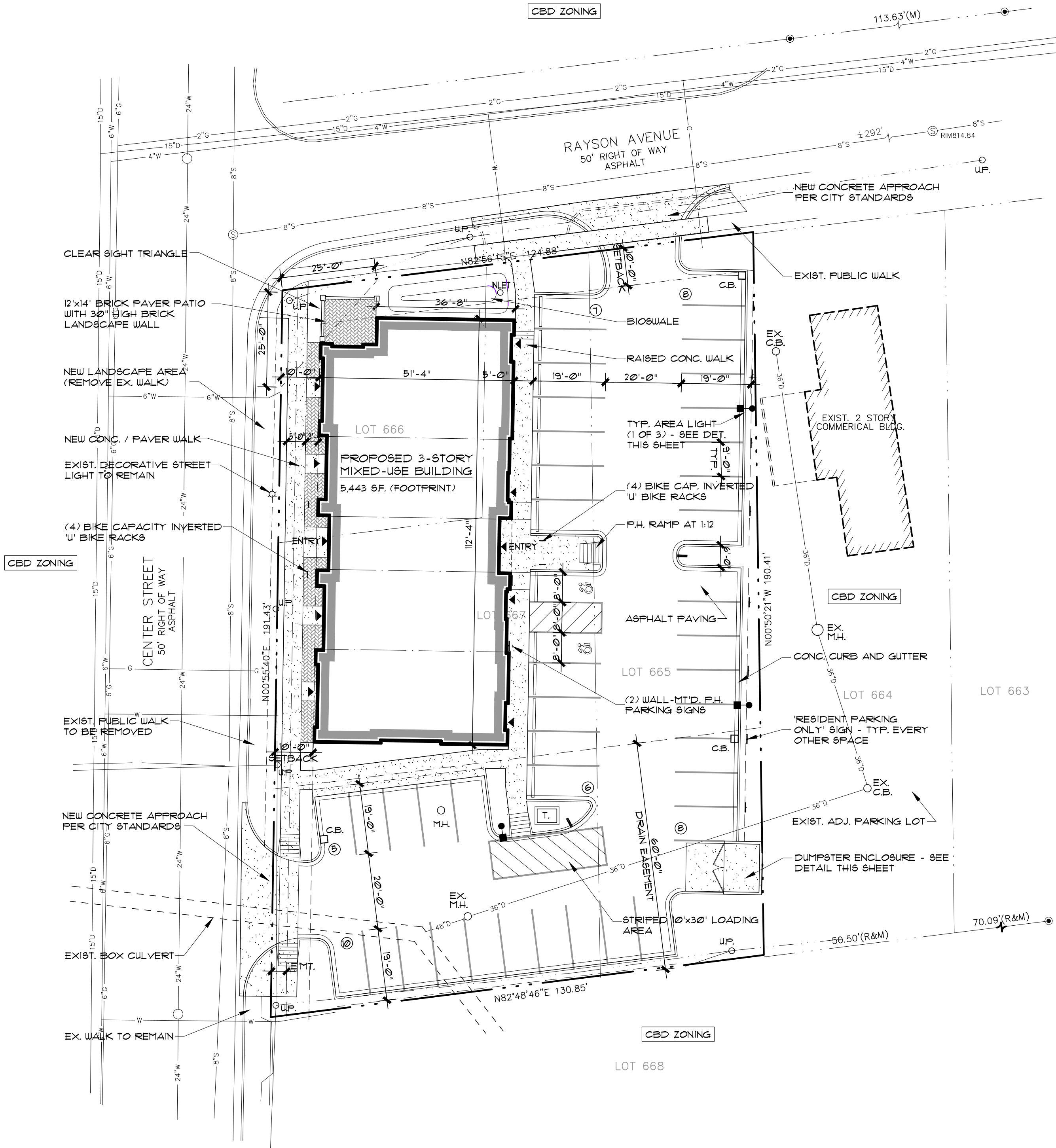
ELEVATION
NOT TO SCALE



TYPICAL LIGHT STANDARD
NOT TO SCALE

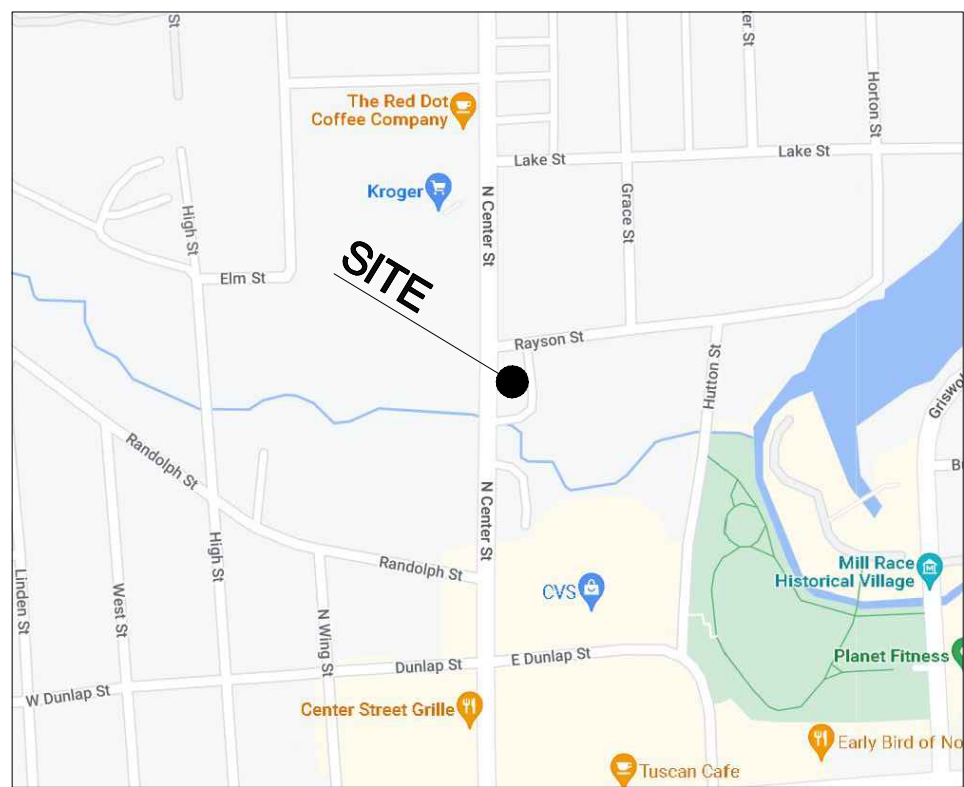


P.H. SIGNAGE - PARKING
NOT TO SCALE



SITE PLAN

SCALE: 1" = 20'-0"



LOCATION MAP
NO SCALE

DEVELOPER

BAZZY INVESTMENTS, L.L.C.
41102 GREENFIELD ROAD, DEARBORN, MI 48126
AL BAZZY, MEMBER
a@bazzyenterprises.com

PROJECT DESCRIPTION

THE PROJECT INVOLVES THE REMOVAL OF TWO EXISTING COMMERCIAL BUILDINGS AND THE DEVELOPMENT OF A NEW 4-5,443 SF, 3-STORY, MIXED-USE RETAIL / APARTMENT BUILDING AND RELATED SITE IMPROVEMENTS.

PROPERTY DESCRIPTION

LAND IS SITUATED IN THE CITY OF NORTHVILLE, COUNTY OF WAYNE, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:

LOTS 665, 666 AND 667, ASSESSOR'S NORTHVILLE PLAT NO. 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 66, PAGE 41 OF PLATS, WAYNE COUNTY RECORDS.

SITE DATA

CURRENT ZONING:	CBD-O
PROPOSED ZONING:	CBD-O
SITE AREA:	24,218 SF. (36 AC.)
BUILDING AREA:	5,443 SF. (FOOTPRINT)
COVERAGE:	22.5%
LANDSCAPE AREA:	3,222 SF. (13.3%)
PARKING REQUIRED:	4,893 GSF. RETAIL AT 1/250 = 19 (8) 2 BR. UNITS AT 2/UNIT = 16
PARKING PROVIDED:	44 SPACES INC. (2) P.H. SPACES
LOADING REQUIRED:	(1) SPACE AT 10'x50'
LOADING PROVIDED:	(1) SPACE AT 10'x30'

Dimensions are to rough framing unless noted otherwise.
DO NOT SCALE DRAWING. Use figure dimensions only.
NOTES: The drawing is an instrument of service and is the intellectual property of Guido Architects Inc. The information herein is for the use of the client only. All rights reserved.

revision 1: REVIEW METHOD OF 9/27/23
PER PLAN REVIEW LETTER OF 9/28/23

drawn by: JAG
checked by: JAG

date: 9/27/23

JOSEPH GUIDO
ARCHITECT
130127944

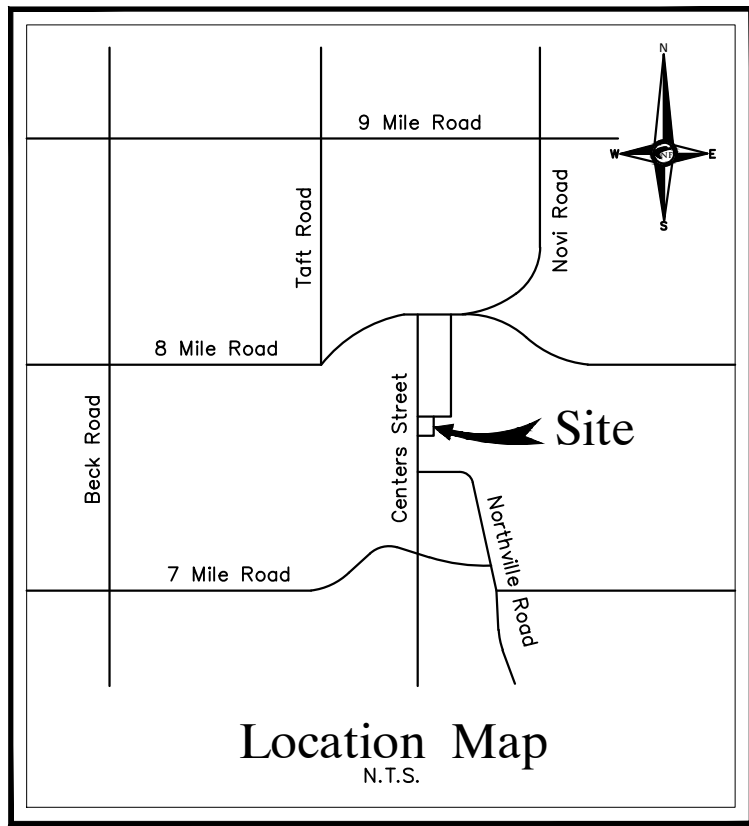
Guido Architects Inc.
Architects / Planners
23419 Ford Road Dearborn, MI 48126
(313) 274-7800 Fax (313) 274-7808
Email: jguido@guidoarchitects.com

PROJECT NAME
BAZZY MIXED-USE BUILDING
340 CENTER STREET
NORTHVILLE, MICHIGAN

SHEET NAME
SITE PLAN

2201

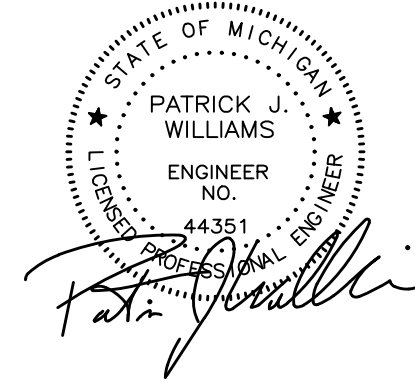
SP-1



NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

SEAL



PROJECT
Bazzy Mixed-Use Building
340 Center Street
Northville, MI

CLIENT
Bazzy Investments, LLC
4770 Greenfield Road,
Dearborn, MI 48126

PROJECT LOCATION
City of Northville,
Wayne County, MI

SHEET
General Site Plan



DATE ISSUED/REVISED
02-09-2024 REVISED PER CITY

DRAWN BY:
J. Lawrey

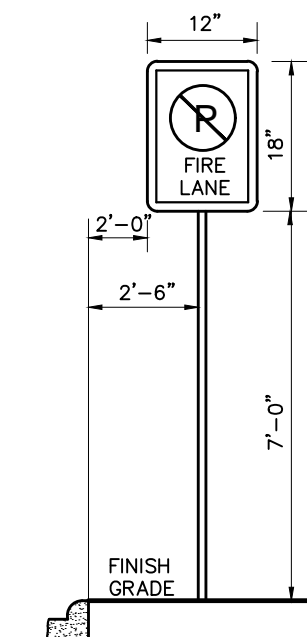
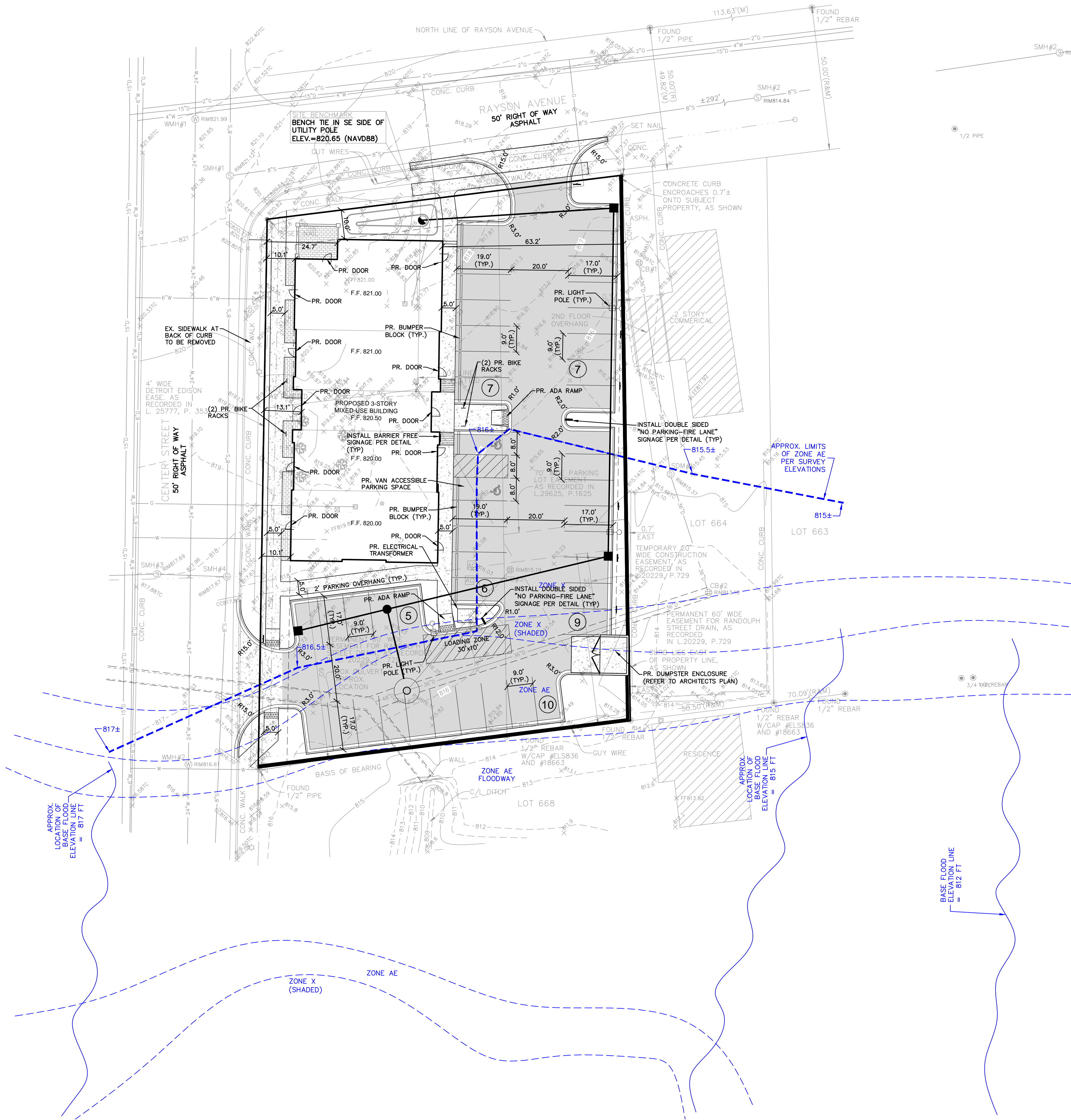
DESIGNED BY:
A. Eizember

APPROVED BY:
P. Williams

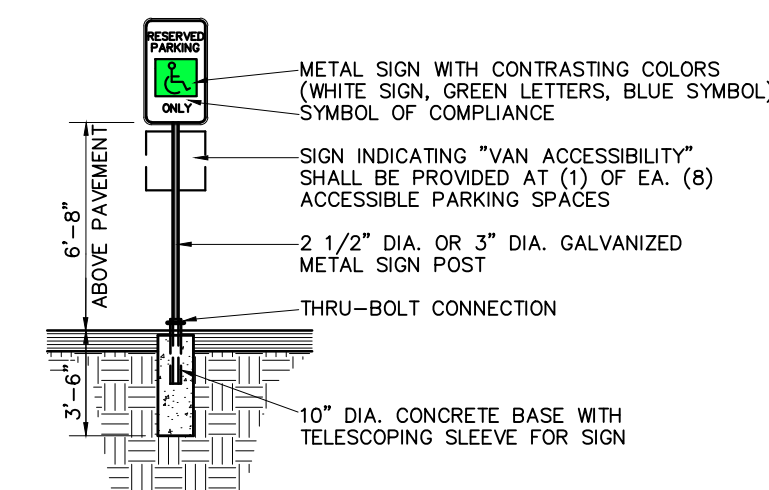
DATE:
November 27, 2023

SCALE: 1" = 10'

NFE JOB NO. SHEET NO.
N856 SP02



NO PARKING SIGN DETAIL
N.T.S.



BARRIER FREE PARKING SIGN DETAIL
N.T.S.
Provide (1) for each accessible parking space

SITE DATA

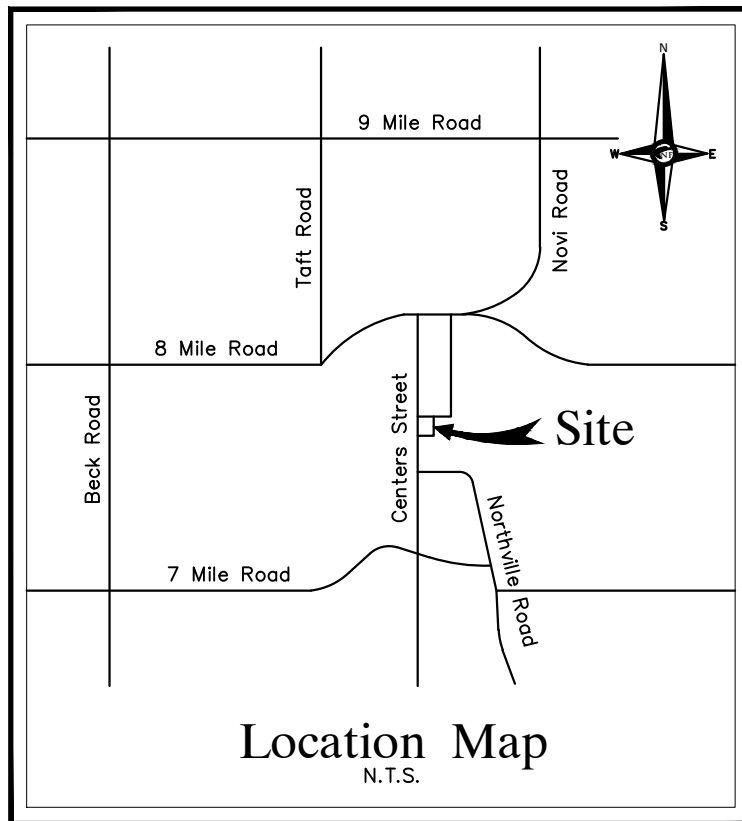
SITE AREA: 24,218 S.F. OR 0.56 ACRES
ZONING: CBD-O (CENTRAL BUSINESS DISTRICT - OVERLAY)
SETBACKS: REQUIRED PROVIDED
FRONT (NORTH) 10' 14.3'
FRONT (WEST) 10' 10.7'
SIDE (EAST) 0' 63.9'
SIDE (SOUTH) 0' 65.2'
MAXIMUM BUILDING HEIGHT: 3 STORIES / 42 FEET
PR. BUILDING: 3 STORY - 5,525 S.F. PER FLOOR
PROPOSED BUILDING COVERAGE: 5,525 S.F. OR 22.8%
PARKING REQUIRED:
RETAIL: 1 SPACE PER 250 S.F.
4,813 S.F. / 250 S.F. = 19 SPACES REQUIRED
LIVING SPACE: 2 SPACES PER UNIT
(8) 2-BEDROOM UNITS x 2/UNIT = 16 SPACES REQUIRED
TOTAL PARKING REQUIRED: 35 SPACES
PARKING PROVIDED: 44 SPACES
INCLUDING: 2 BARRIER-FREE SPACES
LOADING AREA PROVIDED: 300 S.F. (30' x 10')

PAVING LEGEND

PROPOSED CONCRETE PAVEMENT
PROPOSED ASPHALT PAVEMENT

LEGEND

MANHOLE
HYDRANT
MANHOLE CATCH BASIN
UTILITY POLE
C.O.
HYDRANT
INLET
EXISTING SANITARY SEWER
SAN. CLEAN OUT
EXISTING WATERMAIN
EXISTING STORM SEWER
EX. R. Y. CATCH BASIN
EXISTING BURIED CABLES
OVERHEAD LINES
LIGHT POLE
SIGN
EXISTING GAS MAIN
PR. SANITARY SEWER
PR. WATER MAIN
PR. STORM SEWER
PR. R. Y. CATCH BASIN
PROPOSED LIGHT POLE



GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE HMA, 4E ML; SURFACE COURSE - MDT BITUMINOUS MIXTURE HMA, 5E ML; BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD;

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

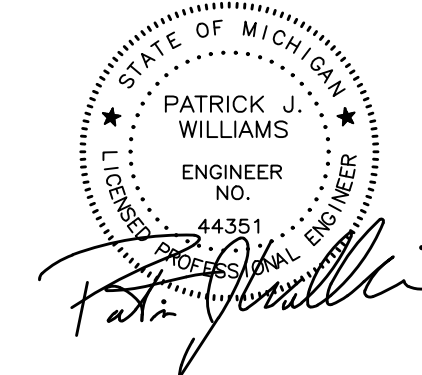
EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

SEAL



PROJECT

Bazzy Mixed-Use Building
340 Center Street
Northville, MI

CLIENT

Bazzy Investments, LLC
4770 Greenfield Road,
Dearborn, MI 48126

PROJECT LOCATION

City of Northville,
Wayne County, MI

SHEET

Engineering Site Plan



DRAWN BY:

A. Eizember

DESIGNED BY:

A. Eizember

APPROVED BY:

P. Williams

DATE:

November 27, 2023

SCALE: 1" = 20'

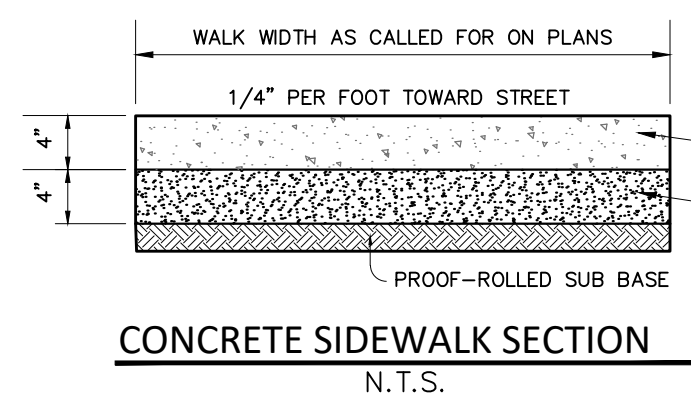
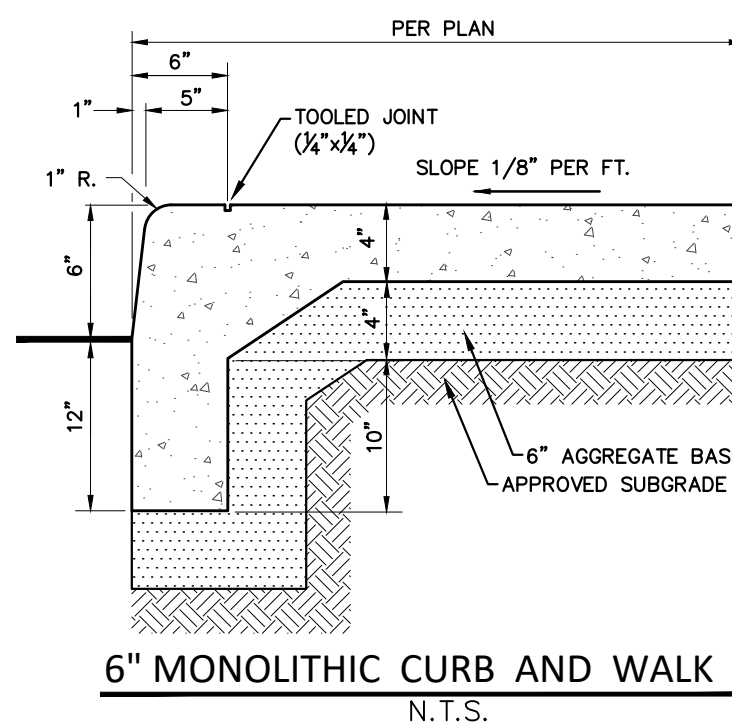
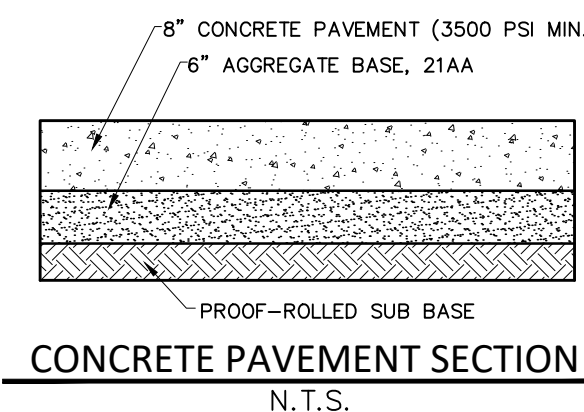
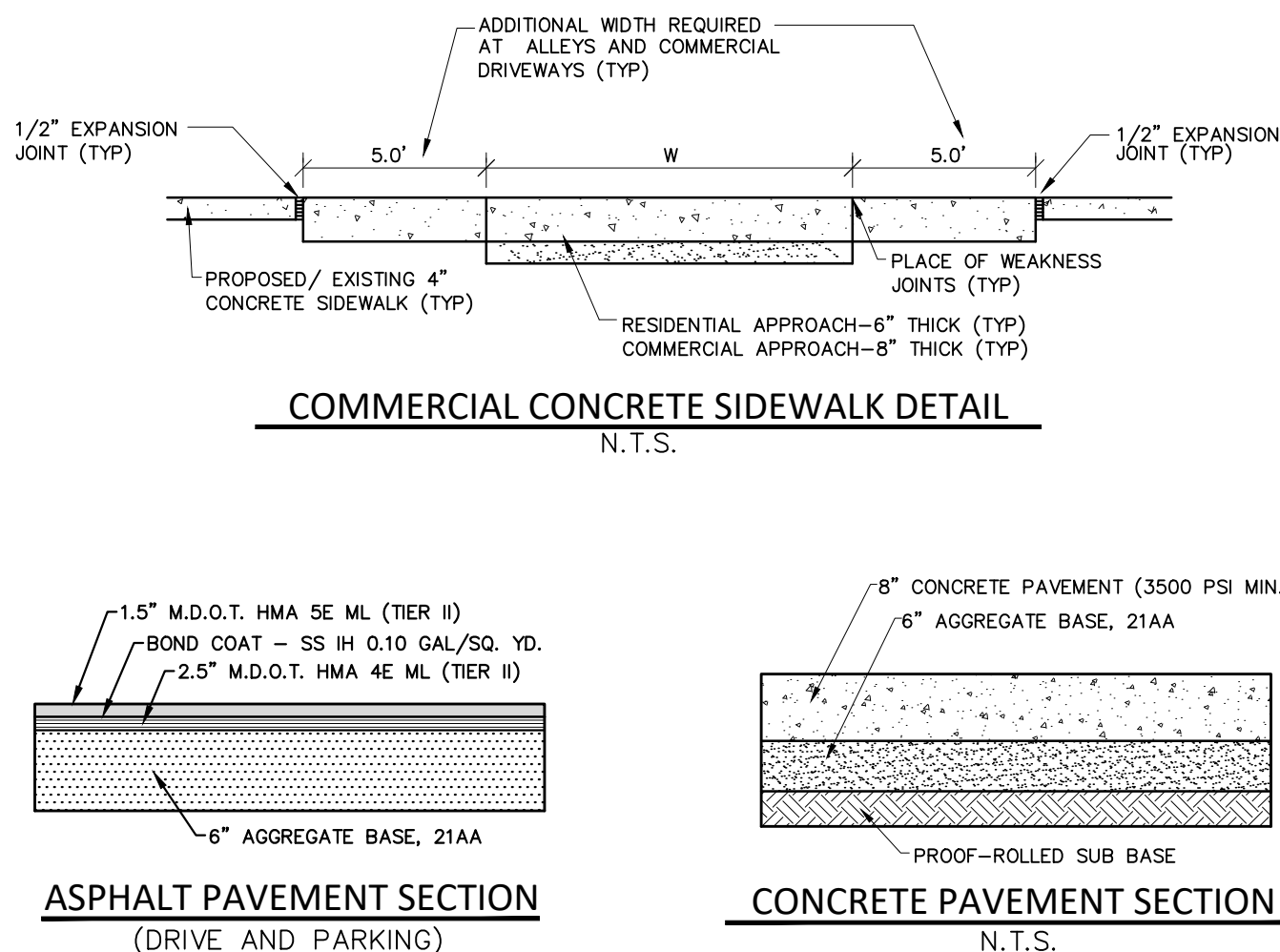
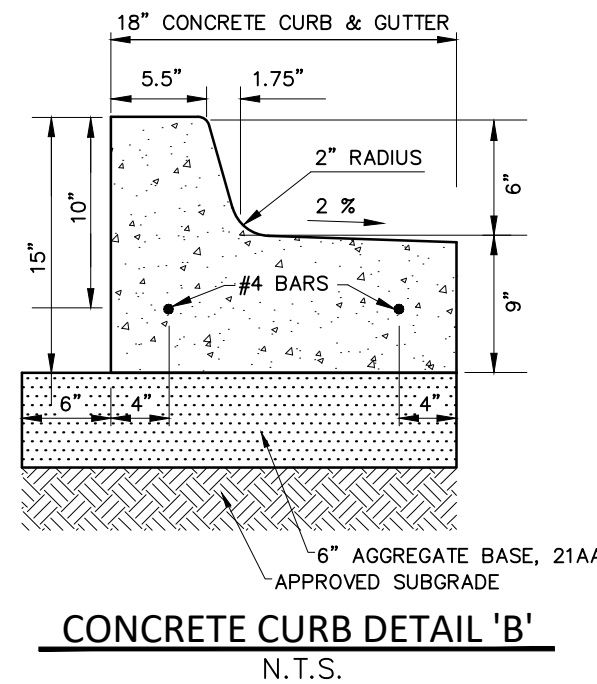
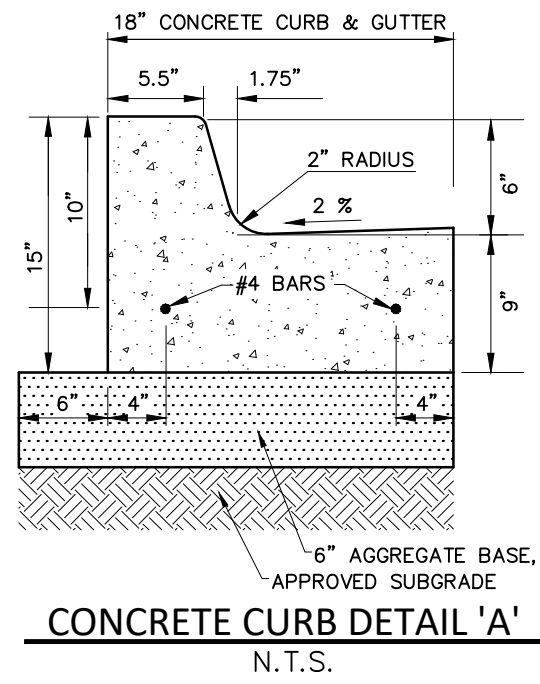
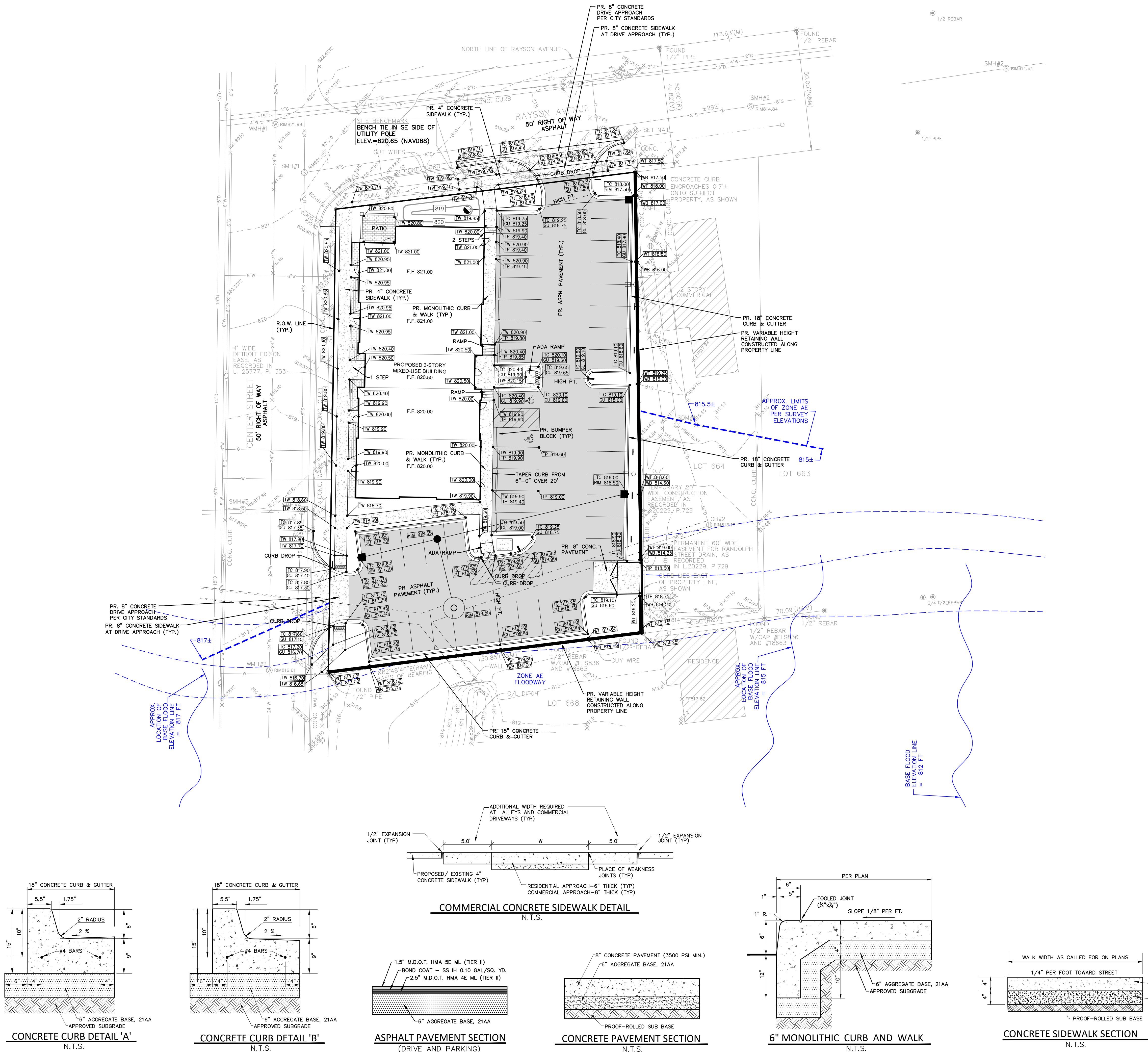
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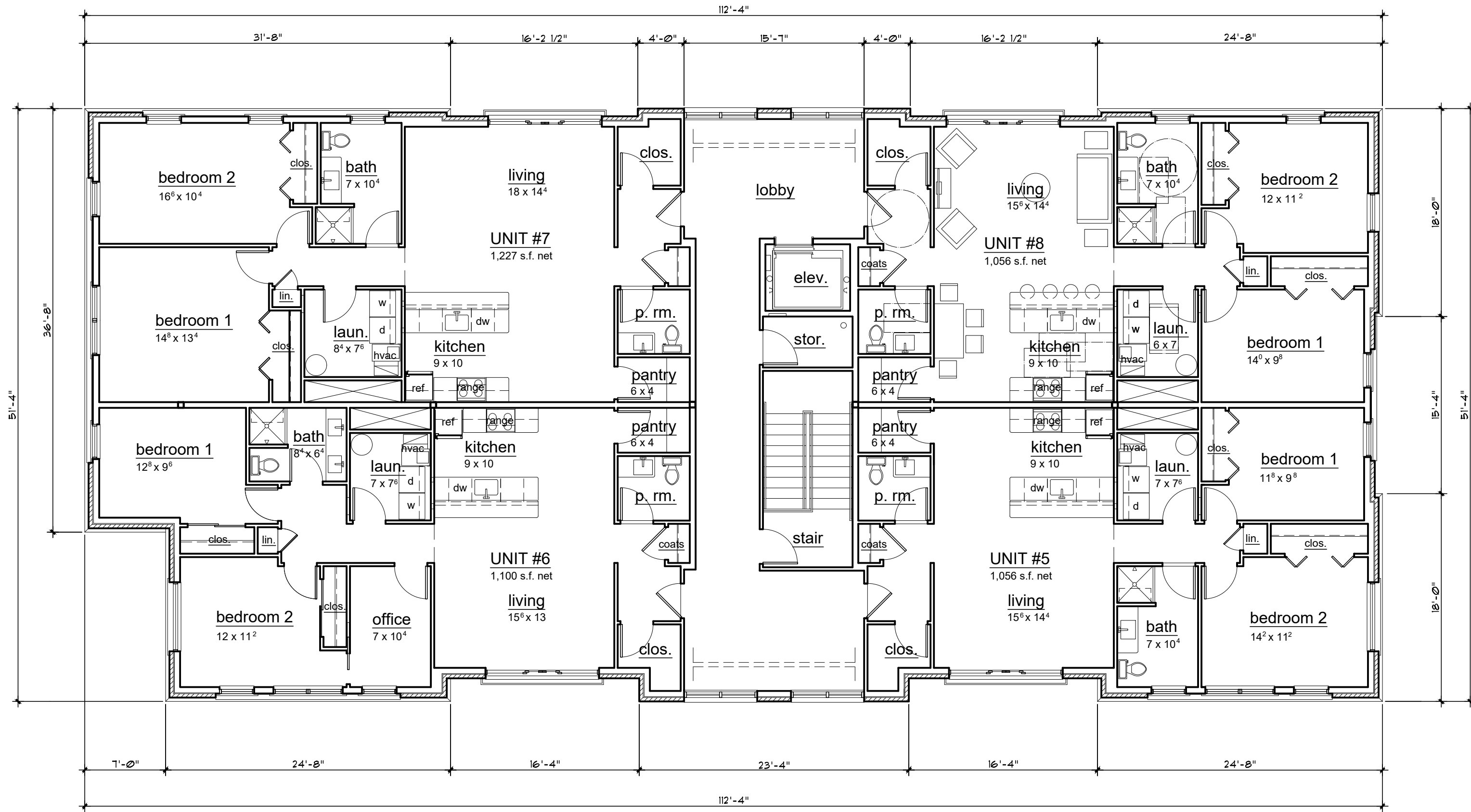
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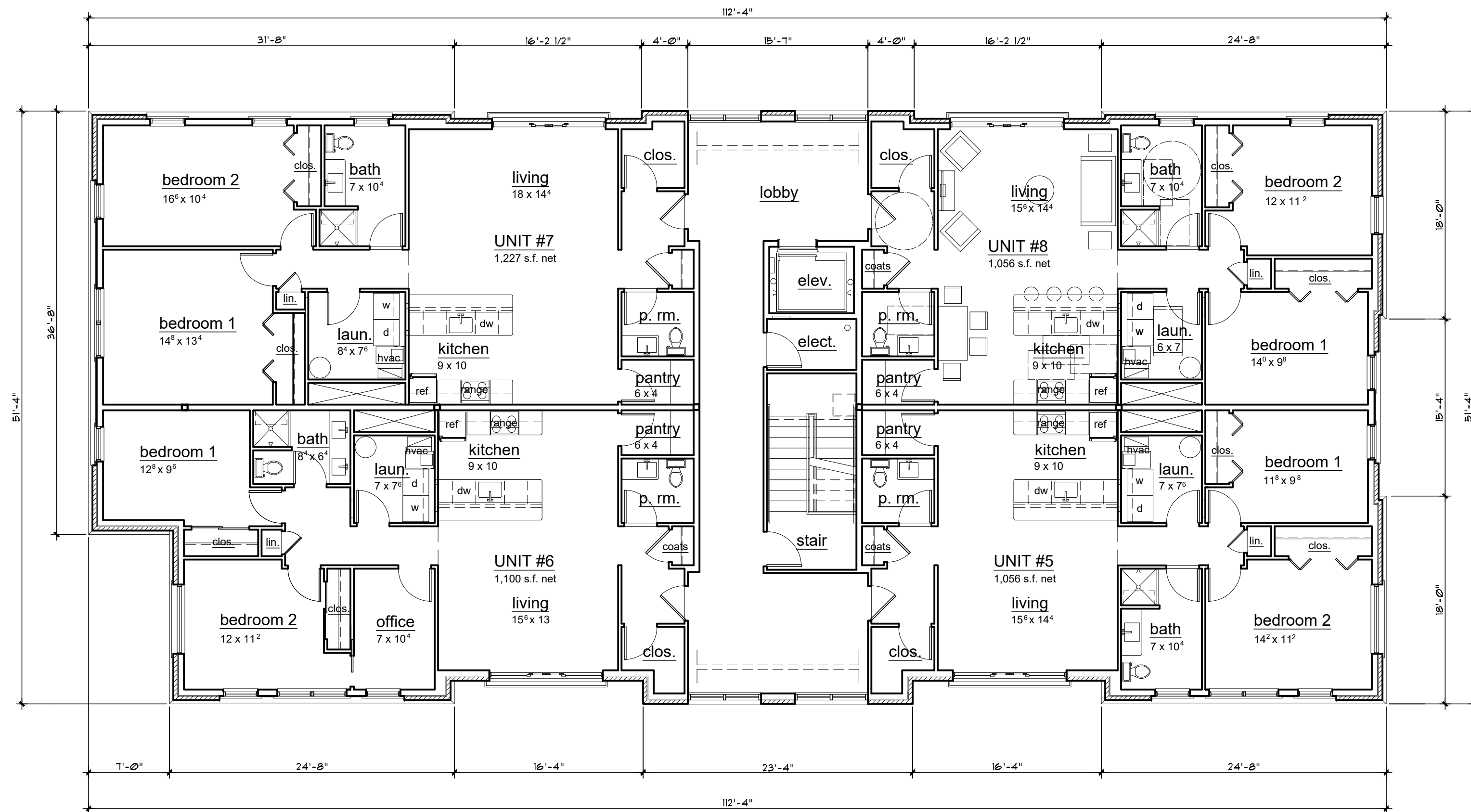
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SP03

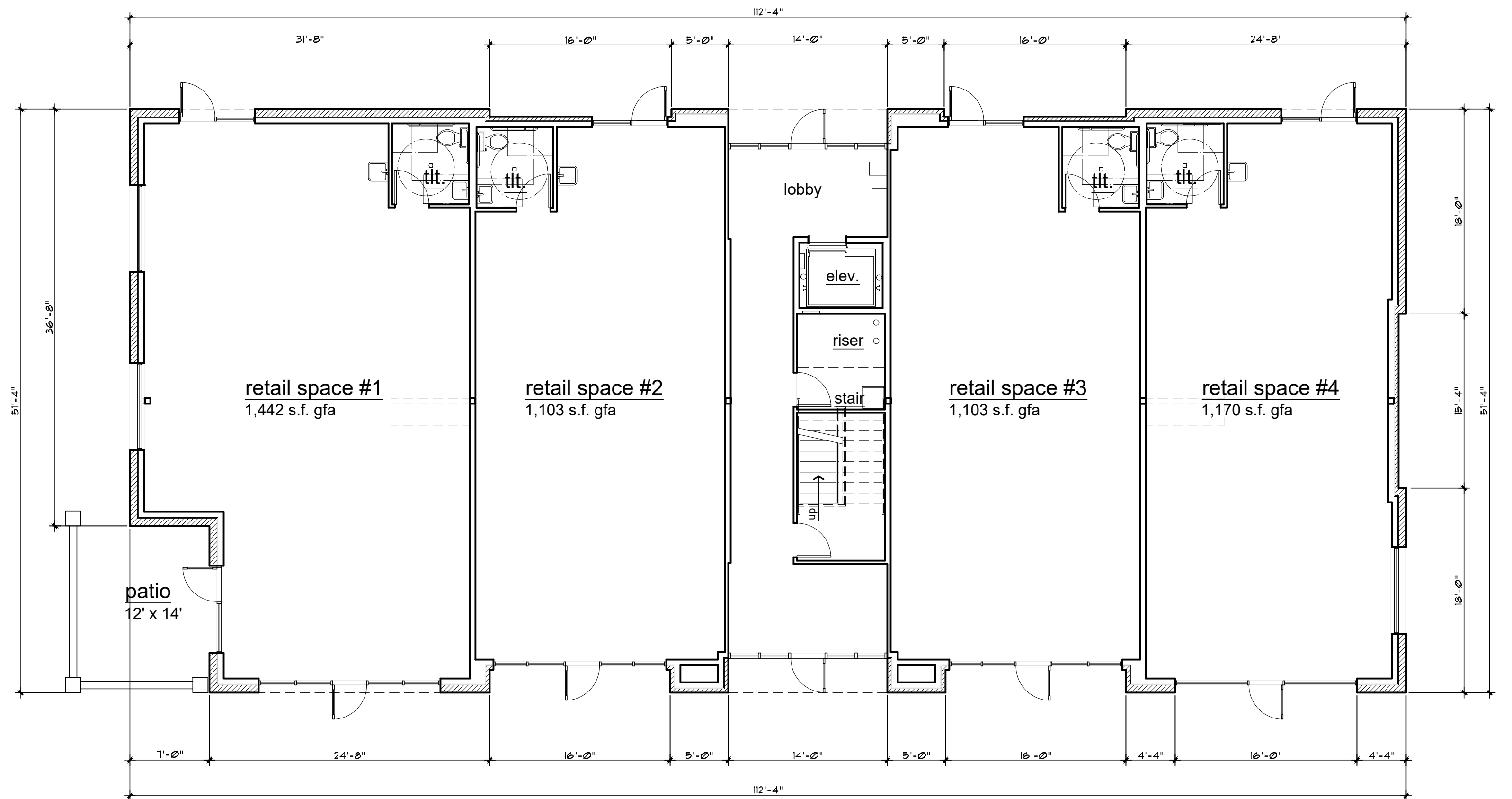




← NORTH
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



← NORTH
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



← NORTH
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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date
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drawn
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Guido Architects Inc.
Architects / Planners
23419 Ford Road Dearborn, MI 48128
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PROJECT NAME
BAZZY MIXED-USE BUILDING
330 CENTER STREET
NORTHVILLE, MICHIGAN

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Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: December 28, 2023

Rev.: February 26, 2024

Rev.: March 25, 2024

**Combined Preliminary & Final Site Plan Review
For
City of Northville, Michigan**

Applicant:	BMB Investments, LLC Al Bazy, Member 4770 Greenfield Road Dearborn, MI 48126
Project Name:	Mixed-Use Retail & Residential Project
Plan Date:	August 10, 2023
Latest Revision:	March 22, 2024
Location:	340 N. Center St. (East side of N. Center, at southeast corner of intersection with Rayson)
Zoning:	CBD – Central Business District CBD-O, Central Business District Overlay
Action Requested:	Combined Preliminary & Final Site Plan Approval
Required Information:	As noted within this review

PROJECT AND SITE DESCRIPTION

The applicant is requesting combined preliminary and final site plan approval for construction of a three-story, mixed-use building located at 340 N. Center Street (east side of N. Center at the southeast corner of Rayson St.). The first floor will be occupied by four (4) commercial units, and the upper floors occupied by a total of eight (8) residential units (four (4) on each floor). The site is made up of three (3) parcels for a total of 0.56 acres, and contains a portion of a box culvert accommodating the underground flow from the Randolph Street Intercounty Drain. Forty-four (44) parking spaces are proposed, all in a surface parking lot to the side and rear of the proposed building.

An aerial photo of the subject site and street view photos of the existing buildings are provided on the next pages.

Figure 1 – Subject Site



Source: Near map (Image capture October 2, 2023)

Figures 2 & 3 – Subject Site – Existing Buildings



The Planning Commission discussed the project at their January 9, 2024 meeting and March 5, 2024 meeting, referring it back to the applicant at both meetings. The minutes indicate that there was consensus among the Commissioners for the mixed-use nature of the project, as well as the proposed street tree arrangement and streetscape amenities. The remaining outstanding items include:

- Corner building treatment, including the north elevation façade; and
- Stormwater alternatives

This review considers the revised plans.

ZONING AND DENSITY

The subject site is currently zoned CBD, Central Business District, and Central Business District Overlay (CBD-O). Retail and multi-family residential uses are permitted by right within the CBD-O District. The Overlay district allows a mix of land uses to serve the commercial and residential needs of the community. This district is designed to promote development consistent with the City of Northville Master Plan, and in a manner which assures quality building design and site development.

The proposed project density is 14 units to the acre. The CBD and CBD-O do not provide any specific density requirements for residential developments. In addition, the 2018 Master Plan doesn't specifically indicate a numerical density for the North Center Street subarea. However, other regulations, such as setbacks, parking, and height, all work together to limit density based on the size of the parcel. In addition, the location of the underground box culvert and associated drainage easement on this site also limit the potential size of a building. We have considered this, and the following information provided in the Master Plan:

1. The 2018 North Center Street Subarea plan identifies this area as a major thoroughfare and attractive gateway to the downtown area. The following are additional policies regarding development of this subarea:
 - Narrow lot width and limited lot depth may require consolidation for extensive redevelopment.
 - Buildings should maintain a ten to fifteen-foot setback for property sight lines.
 - New development shall provide an architectural style which is compatible with existing neighborhood character.
 - Parking shall be located in the side or rear yards as specified.

In our opinion, the subject site and proposal are fairly consistent with these policies.

2. The 2018 Master Plan includes a future land use category called "Multi-Family Townhouse/ Apartment," that calls for a range of approximately 6-12 units per acre. This future land use category is consistent with the R-3 and R-4 zoning districts.
3. The 2021 Master Plan update does not address North Center Street.

North Center St. also serves as one of the City's main entry ways. However, this part of town has several unique characteristics. First, the existing commercial buildings don't share common walls like downtown Northville, and are set back from the street edge, with surface parking lots in front of the buildings. The Overlay district is attempting to modify this arrangement by requiring buildings to have a small setback from the street right-of-way, and allowing buildings to offer a mix of uses, establishing commercial uses on the first floor with office or residential above.

The North 3 Twenty project (new townhouse development to the south) has a density of 16 dwelling units to the acre.

Considering that the proposed development meets the setback, parking and height requirements of the CBD-O district (as discussed further in this review), we think that the proposed density is reasonable.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

The proposed development must conform to the schedule of regulations for the CBD, Central Business District, and where required, the CBD-O, Central Business District – Overlay, as provided in Section 10.05. The standards for the CBD district, as well as the CBD-O district, are summarized in **Table 1** below.

Table 1: Schedule of Regulations, CBD and CBD-O Districts

	Required (CBD)	Required (CBD-O)	Provided	Complies?	
				CBD	CBD-O
Lot Area	N/A	N/A	24,218 s.f. (0.56 ac)	✓	✓
Lot Width	N/A	N/A	N. Center: 191 ft. Rayson St.: 125 ft.	✓	✓
Setbacks					
Front	N/A	10 min. – 15 ft. max.	N. Center: 10 – 12 ft.* and Rayson: 10 – 17 ft. **	✓	(See Below)
Side	N/A	N/A	65.2 ft.	✓	✓
Rear	20 ft.	20 ft.	63.9 ft.	✓	✓
Lot Coverage	N/A	N/A	N/A	✓	✓
Building Height	3 stories; 42 ft.	3 stories, 42 ft.	3 stories, 37 ft.	✓	✓

*Sidewalks are required along all street frontages. The Overlay district requires, where possible, that sidewalks be positioned five (5) feet from the curb for public safety and to facilitate pedestrian connections between residential and commercial areas. The existing sidewalk next to this site along Rayson St. is already setback from the curb. However, the sidewalk along N. Center St. is directly adjacent to the curb. The proposal has revised the location of the sidewalk along N. Center St., and now locates the public walk 8-9 feet from the edge of the curb, meeting this requirement. The width of the greenbelt will provide a viable growing area for street trees. The new public sidewalk is wholly on the subject site, and will require an easement to the City. At the last meeting, the applicant's agent stated that the applicant will provide the required easement. The revised plans also locate pavement directly next to the commercial store fronts of the building, which allows customers to browse the displays in the windows.

**Section 10.05(e) allows up to 20% of the building frontage (or façade of building abutting a public street right-of-way) to exceed the maximum front setback requirement for an entry court or plaza area. The project proposes to locate an outdoor patio at the northwest corner of the building. The dimensions of the plaza facing N. Center St. is within the 20% allowance.

Items to be Addressed: None.

NATURAL RESOURCES

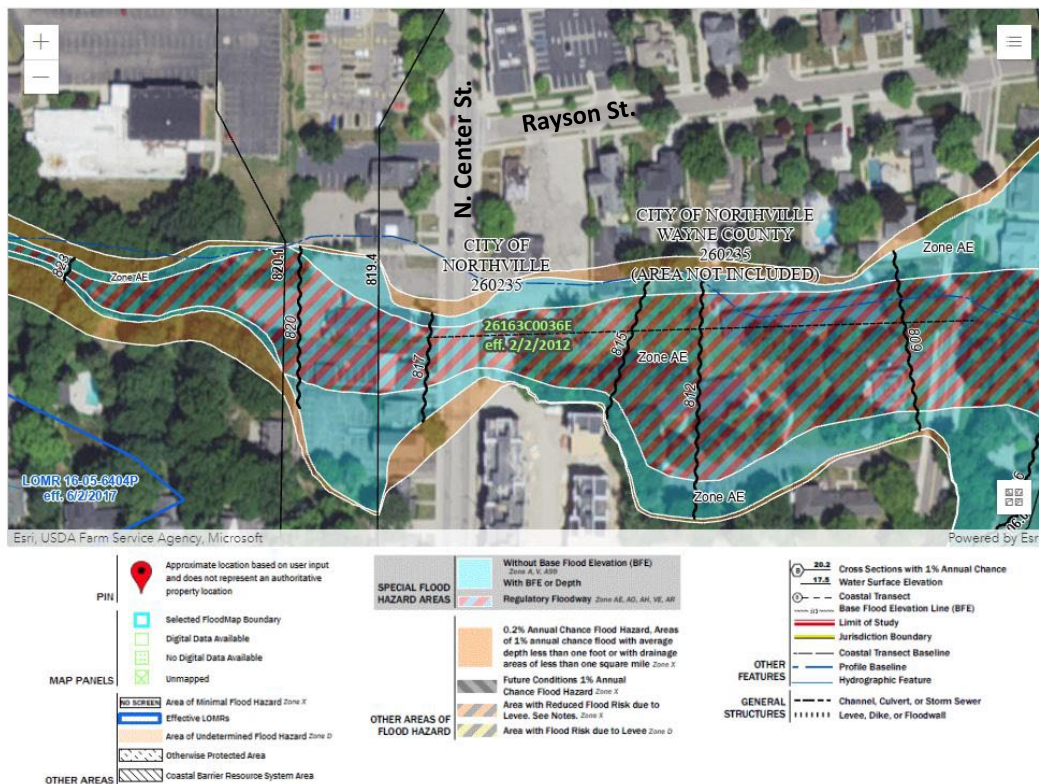
Topography

Topography on the site is relatively flat, with an average 2.8% slope from the northwest corner down to the southeast corner of the site. This topography has been created over the years due to past development of the two buildings and associated parking areas.

Floodplain

The Randolph Street Intercounty Drain traverses the south end of the site in an underground pipe (or “box culvert”), and is daylighted (or comes to the surface) on the property to the south. See the sheet titled “Topographic Survey.” This sheet also shows that the box culvert occupies a 60-foot wide permanent easement.

Sheet SP02, *General Site Plan*, shows information about the Randolph Street Drain floodplain. It identifies the floodplain as illustrated on the Federal Emergency Management Agency (FEMA) map below:



Per the FEMA map, the southern end of the site is located in “Zone AE” (blue shading). Zone AE are areas that have a 1% probability of flooding every year (also known as the “100-year flood plain”). Properties in this zone are considered at high risk of flooding under the National Flood Insurance Program. The AE zone is considered to be in a Special Flood Hazard Area, and is lower than the Base Flood Elevation. The proposal only locates an asphalt surface parking lot in this zone, and no buildings. This area is currently occupied by an asphalt parking lot.

The FMEA map also identifies a small area as “Zone X” (orange shading) at the southern end of the site, which is a moderate- to low-risk area. It is depicted on the Flood Hazard Boundary Map as above the 500-

year flood level. An asphalt surface parking lot is also proposed within Zone X on site. As above, this area is currently occupied by an asphalt parking lot.

This sheet also identifies the floodplain per survey elevations between 815 and 817. The finished floor of the proposed building is at an elevation of 820, and therefore out of the flood prone areas. We defer review of all improvements in the 100-year flood plain to the City Engineer during the engineering review stage.

Existing Trees

Two (2) 12-inch Diameter at Breast Height (DBH) trees, and three (3) 6-inch DBH deciduous trees currently exist on site. Sheet LP-1, Landscape Planting Plan, indicates that these trees are Red Maples, and will be removed. Removal of these trees will require planting of eight (8), 2.5" caliper replacement trees. The Tree Preservation ordinance allows other mitigation techniques, which we discuss in the *Landscaping* section below.

Items to be Addressed: 1) *Defer review of improvement in the 100-year floodplain to the City Engineer during the engineering review stage.*

BUILDING LOCATION AND SITE ARRANGEMENT

This site is located at a street intersection, and the building is proposed as a “corner” building located close to the corner, and parallel to N. Center Street. The minimum setbacks along this street frontage allow room for landscaping, and an entry portico. (See additional comments under the *Floor Plans and Elevations* section below.) The building’s relationship to Rayson is secondary, but the plans call for a patio at the northwest corner of the building, which is accessible from the building. We consider the patio a positive aspect of the plan.

Per the ordinance, the parking is located to the south side and rear of the building, and no parking is proposed between the building and the street.

In our opinion, this is a desirable arrangement, as it emphasizes the street corner and creates an attractive street façade. It orients the commercial unit entrances, and the main upper floor residential entryway, along the street. It also allows space for street trees, and screens parking from the street.

Items to be Addressed: *None.*

PARKING

The Overlay district references the parking requirements in Section 17.02 of the Zoning Ordinance. The table below shows how this proposal addresses the parking requirements for both uses.

Table 2: Parking Calculations

	Parking Required	Parking Credits	Parking Provided
General Retail sales and service establishments, not elsewhere classified	1 space per each 200 s.f. of gross floor area 4,813 s.f. / 200 = 24 spaces	2,017 s.f. / 250 = 8 parking credits	44 total spaces
Residential – CBD Zoning District	2.5 per 2-bedroom unit 8 two-bedroom units = 20 spaces		
Barrier-free Parking Spaces	2 spaces (included in total above)		2 spaces (included in total above)
TOTAL	44 spaces	8 parking credits	44 spaces
	44 required spaces – 8 parking credits = 36 required spaces (without a restaurant)		

Number of Spaces

The proposal meets parking requirements for the residential uses and general retail and service establishments. The eight (8) parking credits could accommodate a coffee shop or take-out restaurant in the one commercial unit next to the patio. As requested, the applicant's response memo describes the patio as an outdoor dining area for the adjacent restaurant's use.

The response memo also states that the 16 residential parking spaces will be marked with a sign as reserved for the residential units after 6pm. (Note that the 4 additional residential parking spaces are for visitors, which can be accommodated throughout the lot.) The signs are shown on Sheet SP-1.

The Planning Commission requested that we talk with the owner of 114 Rayson (directly to the east of this site) to confirm that there are no existing shared parking agreements between the project site and this neighbor. The owner of the building states that there are no existing agreements. Also, the owner stated that there are no current agreements between 114 Rayson and the brew pub site. And the need for a parking agreement between 114 Rayson and the brew pub building was eliminated when the Planning Commission approved the existing lot as being adequate at the November 15, 2022 meeting.

Parking Lot Dimensions

The dimensions of the proposed driveway, maneuvering lanes, and parking spaces meet ordinance requirements for width and length. (Note that Sec. 17.04(m) allows spaces to overhang the parking lot perimeter by up to two (2) feet.) The project is using this provision along the southern and eastern parking lot perimeters.)

The dimensions of the barrier-free parking spaces also meet ordinance requirements. The proposal offers at least one “van-accessible” barrier-free space as required.

Items to be Addressed: *None.*

SITE ACCESS AND CIRCULATION

Vehicles

Vehicles access the site via two driveways, one off of N. Center St. and one off of Rayson St. The minimum required width of a driveway is 20-feet wide. Both meet this dimension.

The new driveways are in the same general vicinity as the existing driveways. We consider the location of these access points appropriate, as they separate vehicles using this site away from the N. Center/Rayson St. intersection.

Circulation of a garbage truck is shown on Sheet SP02.1. The plan shows that a garbage truck can access and maneuver on the site. Interaction with the loading/unloading zone clearly shows that garbage pick up will need to be coordinated during off-hours for the commercial businesses.

Loading/Unloading

A loading space is identified on Sheet SP-1 on the south end of the parking lot. The ordinance does not require a loading space for commercial units of the proposed sizes; however, the proposed space will accommodate a medium-sized delivery truck/van. As requested, the applicant’s response memo states that based on anticipated uses, deliveries would most likely be made by standard vans or small box trucks, which could be accommodated by the proposed space. (Note that the Planning Commission approved parking delivery trucks for the building to the south in the center lane on N. Center St.)

Pedestrians

Pedestrian sidewalks provide access from the new N. Center St. public walk to the individual commercial units, and the main entrance to the upper floor apartments. A new five-foot wide sidewalk is also proposed along the rear façade of the building. (Note that the width is acceptable here because the project is proposing wheel stops that will keep vehicles from encroaching on the sidewalk and reducing the usable width.) As suggested, a sidewalk has been added along the south façade of the building (between the foundation landscaping and the parking spaces) so that a pedestrian may walk from the N. Center sidewalk to the rear of the building without having to walk through the parking lot.

Sheet SP-1 shows two bike racks at the front door on N. Center St., and the revised plan shows two more bike racks at the back door for the apartment dwellers.

Items to be Addressed: *None.*

LANDSCAPING

A landscape plan has been provided. We have the following comments:

Street Trees

One tree per 40 lineal feet of frontage is required in the CBD-O. This site requires eight (8) street trees ($316 / 40 = 8$). Eight (8) trees are provided along N. Center St. that meet the minimum size requirements of the ordinance. These trees are located between the curb and sidewalk, as a typical street tree. The entire street tree requirement is addressed along N. Center St. The trees proposed along Rayson St. are not identified as “street trees.” However, other trees are provided along this frontage (labeled as “replacement” trees and “parking lot” trees). As indicated at the last meeting, the Planning Commission agreed that the tree placement was acceptable.

No trees are proposed within the Clear Vision Zone at the corner of N. Center and Rayson St. The proposed shrubs in all Clear Vision Zones will remain under the 30” maximum height. The proposed landscape wall around the patio will also be within the maximum 30” height permitted in a Clear Vision Zone.

Streetscape Furnishings

The Overlay district calls for streetscape furnishings, including street trees, tree grates, special concrete finishing, pavers, and decorative lighting along the N. Center Street frontage. The project includes street trees, pavers along the building façade, and substantial landscaping. It also includes a proposed patio at the northwest corner of the building surrounded by a 30” tall brick wall. The applicant’s previous response memo states that the existing street light fixture will remain. At the last meeting, the Planning Commission consensus that the proposal meets this requirement.

Parking Lot Buffer Along Right-of-Way

A minimum six-foot wide buffer is required between a parking lot and street right-of-way or sidewalk. The buffer shall include one (1) tree and ten (10) shrubs per 40 lineal feet, decorative fencing, or masonry screen wall.

The parking lot abuts both streets for a distance of sixty (60) feet in length. This would require at least one (1) shade tree and 10 shrubs. The proposal meets these requirements.

Vehicular Use Area

Landscaping that equals 1.5 square feet for each 100 square feet of vehicular use area is required as “interior” landscaping. One tree per 100 square feet of interior landscape area is also required. Sheet LP-1 shows the vehicle use area to be 12,576 square feet, which would require 189 square feet of interior landscaping ($12,576 / 100 \times 1.5 = 189$ s.f. interior landscaping), and two (2) trees ($189 / 100 = 2$ trees).

The plans show interior parking lot islands that total 582 square feet, and two (2) trees.

Tree Replacement

As mentioned above in the *Natural Resources* section of this review, the project will remove existing trees on site. The ordinance requires the planting of eight (8) replacement trees to mitigate for this removal.

The Landscape Planting Plan shows five deciduous trees that meet the minimum size requirements (2.5" caliper) in the Tree Preservation Ordinance as replacement trees. The two, 8-foot tall evergreens along Rayson St. can also be counted as replacements. Lastly, the two ornamental trees (2" caliper 'Obelisk' Serviceberry) can also be counted together as one replacement tree. The tree replacement requirements are met.

Trash Receptacle

The site plan indicates that a dumpster and screen will be located in the southeast corner of the parking lot (or rear yard, as required). A detail of the screen wall is provided on Sheet SP-1, showing a block wall faced with brick, which will complement the proposed brick façade of the building.

Irrigation

A note on the Landscape Planting Plan indicates that all landscaped areas, including parking lot islands, will receive an underground irrigation system.

Items to be Addressed: *None.*

LIGHTING

Lighting information has been provided.

Street Lights

As mentioned above, one decorative streetlight currently exists on N. Center St. adjacent to the project site. The streetlight will be retained.

Building Mounted Light Fixtures

Sec. 18.05 requires that lighting shall be shielded or otherwise positioned so that the source of light does not adversely affect driver or pedestrian visibility, and does not adversely affect adjacent properties. The proposed building-mounted light fixture has been changed. The manufacturer information on these fixtures has been provided, and fixture "A" (Bega) is shielded and directs the light downward.

Pole Mounted Light Fixtures

Manufacturer information has been provided regarding the proposed pole-mounted light fixtures, showing that they are downward facing, and can accept a shield if necessary. The proposed mounting height at 20-feet is within ordinance limits.

Light Levels

The proposed lighting levels meet ordinance requirements on site and at property lines.

Items to be Addressed: *None.*

SIGNS

No sign information has been provided. We assume this is because the tenants of the building are not yet known. We defer evaluation of the proposed signage to the Building Official once a Sign Permit Application has been submitted.

Items to be Addressed: *Defer evaluation of signs to Building Official once a Sign Permit Application has been submitted.*

UTILITIES

The Planning Commission discussed the ordinance standard that states: *“Future development shall incorporate Low Impact Development (LID) techniques for stormwater management where practicable.”*

As indicated in our previous review, we asked the Department of Public Works Director if they are in favor of LID techniques (such as bioswales, infiltration areas, or rain gardens) at this site. He responded favorably, and would support these types of stormwater management techniques in all new site plans, as long as the site allows for it. The revised plans show a bioswale at the north end of the site, surrounded by Red-twig Dogwood (an appropriate species for these conditions). This bioswale will help to infiltrate and clean the runoff from the roof.

The applicant has provided a memo from their project engineer indicating how much of the roof runoff will be captured by this bioswale, and how it will function. We have also requested comments from the City’s Engineer on the proposal, and will report them to the Planning Commission at the upcoming meeting.

Items to be Addressed: *Coordinate stormwater and utility connections with City Engineer and DPW Director.*

FLOOR PLANS/ ELEVATIONS

Revised floor plans and elevations have been provided. The applicant indicated that they will be providing renderings at the upcoming Planning Commission meeting. Note that the Planning Commission’s last motion asked the applicant to address the “corner treatment, including the north elevation façade.”

The Overlay district includes a number of architectural design standards. We have listed them below (*in italics*), and have provided comments after each.

- a. *Architecture: It is the intent of the Central Business District Overlay Zone to provide high-quality building materials and complimentary building architecture. Architectural guidelines shall include the following:*
 - *First floor architecture shall be compatible with sidewalk areas and shall provide an attractive interface between buildings and pedestrians. This shall be accomplished with generous window areas, recesses, and architectural detail.*

CWA Comments:

- West façade: The ground floor of the west-facing façade offers glass store fronts under metal canopies. The latest building design provides a column-type divider between the commercial units, offering more pronounced projections and recesses. The plans note that varying storefront color schemes will be provided. Also, on each end of this facade, the upper windows are recessed, and set off with a darker-colored brick, differentiating these upper levels from the ground floor. “Eyebrows” over the upper windows have been eliminated, and the brick soldier bands are consistently located above the above the windows. Another change is a more pronounced foundation, helping to ground the building. The sidewalks are directly adjacent to the commercial windows to allow customers to window shop, like a traditional downtown and the building to the north.
- East façade: The same modifications made to the west façade have also been made to the east façade. This façade will be viewed from the parking lot.
- South façade: The south façade features the recessed upper window cluster, and more pronounced foundation treatment. The storefront window lines up with the small upper level windows. The upper level windows have been shortened to, we assume, allow for furniture placement in the bedrooms.
- North façade: This façade incorporates many of the changes described above. Additional changes include a recessed door from the outdoor dining patio into the commercial unit, two large windows on the ground floor, and two new windows above the patio door (in the bedrooms above). These changes create a “front” façade along Rayson St. compared to the previous design.

- *Buildings shall have an orientation to the street and front sidewalk, with a functioning entrance which enhances the continuity of the pedestrian-oriented environment.*

CWA Comments: The building is oriented toward N. Center St., and the front sidewalk. Both the commercial units and the apartment building have functioning entrances to N. Center St. The commercial unit on the north side has a third entryway to the patio along Rayson St.

- *Where possible, there shall be a minimal grade differential between the elevation of the sidewalk and the first floor elevation of the adjoining building.*

CWA Comments: The access walks to the commercial units and apartments along N. Center St. are flush with the public sidewalk. All of the commercial units are accessible without stairs from the rear. The patio is also accessible from the northern-most commercial unit.

- *Building entries shall be readily identifiable and accessible, with at least one (1) main entrance, and shall open directly onto the public sidewalk.*

CWA Comments: See comments above.

- *Architecture will be evaluated based upon its compatibility and relationship to the adjacent buildings and uses, and vice versa.*

CWA Comments: The proposed architecture has been further revised based on Planning Commissioner’s comments, and is compatible with the surrounding buildings, and the character of Northville in general.

- *Building materials shall be high-quality and compatible with surrounding architecture. Exterior insulation and finish systems (EIFS) may only be used for architectural detailing above the first floor.*

CWA Comments: The building is sided with various colors of brick, using decorative soldier courses on various parts of the building. The facades also have cast stone window sills and foundation treatment that add interest to the façades. This design contains more windows, which appears balanced and consistent with traditional architecture. The windows on the north façade also eliminate blank walls, and create a “front” building design. The Juliet balconies and the more refined center entryways create a design that is highly compatible with the relatively new building across Rayson St.

- *All rooftop mechanical equipment shall be screened from view in accordance with Section 18.11.11.*

CWA Comments: Screening of rooftop equipment is shown on the building elevations. Also, the applicant’s previous response memo, and their comments at the last Planning Commission meeting, state that they have eliminated the exposed grilles on the exterior building faces related to the HVAC equipment.

b. Corner Building Standards.

- 1) *Standards: Corner buildings and structures shall incorporate distinctive features, materials, designs, height levels, and colors that are sensitive to the flanking buildings. Wider sidewalks and/or further setback from the corner’s edge is encouraged to retain a line-of-sight through the corner.*

CWA Comments: A portion of the north façade of the building steps back from N. Center St. The space vacated by the building is filled with a patio for outdoor dining at the corner, surrounded by a low brick wall with pillars. The building itself now has a cornice along the roofline wrapping the corner, making this corner a more prominent feature of the building. Coupled with the revised north “front” elevation treatment and the walled outdoor dining area, we consider these features to create a distinctive corner treatment.

- 2) *Form and Function: Use of ground level open-aired areas at the intersection of the sidewalks is encouraged. The design of open-aired areas or pedestrian plazas adds aesthetic distinction to the façade and compliments the pedestrian atmosphere of North Center Street. Integrating covered/uncovered seating and resting areas is highly encouraged.*


CWA Comments: The applicant has clarified that the patio area will be used by folks dining in the northern-most unit of the building. Diners using the patio will be able to view and interact with pedestrians, complementing the pedestrian atmosphere of N. Center St.

Items to be Addressed: None.

RECOMMENDATIONS

The proposed project will redevelop underutilized properties within the Central Business District (CBD) and Overlay District (CBD-O) along N. Center St. In our opinion, the proposal meets the intent of the CBD-O to provide for mixed uses within the district. If the Planning Commission agrees with the latest round of plan changes, we recommend granting combined Preliminary and Final Site Plan approval, conditioned upon the following:

- A. **Natural Resources:** *Defer review of improvement in the 100-year floodplain to the City Engineer during the engineering review stage.*
- B. **Signs:** *Defer evaluation of signs to Building Official once a Sign Permit Application has been submitted.*
- C. **Utilities:** *Coordinate stormwater and utility connections with City Engineer and DPW Director.*


CARLISLE/WORTMAN ASSOC., INC.
Sally M. Elmiger, AICP, LEED AP
Principal

153-2207

Cc: George Lahanas, City Manager
Shari Allen, Building Department
Craig Strong, Building Official
Joseph A. Guido (jguido@guidoarchitects.com)

340 N. Center St.

Draft Motions

Approval – Combined Preliminary & Final Site Plan

Based on the information received from the applicant, and reflected in the minutes of this meeting, the Planning Commission finds that the proposal at 340 N. Center St., dated March 22, 2024, meets the required standards and findings for Preliminary Site Plan and Final Site Plan approval (Section 19.05) of the Zoning Ordinance, and approves the Combined Preliminary Site Plan and Final Site Plan, with the following conditions:

- A. **Natural Resources:** *Defer review of improvement in the 100-year floodplain to the City Engineer during the engineering review stage.*
- B. **Signs:** *Defer evaluation of signs to Building Official once a Sign Permit Application has been submitted.*
- C. **Utilities:** *Coordinate stormwater and utility connections with City Engineer and DPW Director.*

-OR-

Refer Back to the Applicant – Combined Preliminary & Final Site Plan

Move to refer the request for Combined Preliminary and Final Site Plan approval proposed at 340 N. Center St., dated March 22, 2024, back to the applicant to allow the applicant time to address the following items:

- A. _____
- B. _____
- C. _____

-OR-

Denial – Combined Preliminary & Final Site Plan

Based on the information received from the applicant, and reflected in the minutes of this meeting, the Planning Commission finds that the proposal at 340 N. Center St., dated March 22, 2024, does not meet the required standards and findings for Combined Preliminary Site Plan and Final Site Plan approval (Section 19.05) of the Zoning Ordinance and denies the Combined Preliminary Site Plan and Final Site Plan.

This action is also based on the fact that the request is not in compliance with...

- A. _____
- B. _____
- C. _____