

PLANNING COMMISSION AGENDA April 2, 2024 – 7:00 P.M.

LOCATION: City of Northville Municipal Building Council Chambers, 215 W. Main St., Northville MI 48167, 248-449-9902

- 1. CALL TO ORDER
- 2 ROLL CALL
- **3. APPROVE MINUTES** March 5, 2024
- **4. AUDIENCE COMMENTS** (limited to brief presentations on matters not on the agenda)
- 5. REPORTS & CORRESPONDENCE
 - A. City Administration
 - B. Planning Commissioners
 - C. Other Community/Governmental Liaisons
 - D. Correspondence

6. APPROVE AGENDA

Consideration of agenda items generally will follow this order:

- A. Introduction by Chair
- B. Presentation by City Planner
- C. Commission questions of City Planner
- D. Presentation by Applicant (if any)
- E. Commission questions of Applicant (if item has an applicant)
- F. Public comment
- G. Commission discussion & decision
- 7. PUBLIC HEARINGS
- 8. SITE PLAN AND ZONING CHANGE APPLICATIONS
 - a. 340 N. Center Mixed-Use Retail & Residential Project
- 9. OTHER PLANNING COMMISSION BUSINESS
- **10. ADJOURN** The next regularly scheduled meeting April 16, 2024

The City of Northville will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting to individuals with disabilities requiring such services. All requests must be made to the City Clerk at least five (5) business days before the meeting in writing or by phone, 215 W. Main Street, Northville, MI 48167 (248) 349.1300. Minutes of the meeting are available at the City Clerk's Office and online at www.ci.northville.mi.us

CITY OF NORTHVILLE

215 W. Main Street, Northville MI Planning Commission Meeting Minutes March 5, 2024 7:00 PM

1. CALL TO ORDER

Chair Tinberg called the meeting to order at 7:00pm.

2. ROLL CALL

Present: Thomas Barry

Paul DeBono
Jeff Gaines
David Hay
Steve Kirk
Carol Maise
William Salliotte
Donna Tinberg

Absent: AnnaMaryLee Vollick

Also present: City Planner Elmiger

City Manager Lahanas

Mayor Turnbull

Mayor Pro Tem Moroski-Browne

3. APPROVE MINUTES – February 6, 2024

MOTION by Barry, support by Hay, to approve the February 6, 2024 meeting minutes as submitted.

Motion passed unanimously by voice vote.

4. AUDIENCE COMMENTS (limited to brief presentations on matters not on the agenda)
None.

5. REPORTS & CORRESPONDENCE

A. City Administration

City Manager Lahanas

- City Council will hold a water infrastructure special work session on March 21, in regards to reviewing infrastructure needs and setting rates.
- A committee is being formed to advance the Fort Griswold playground reconstruction.
- Bids were out for gateway plaza accessibility designs. Work is expected in summer or fall.

 Northville Downs project demolition permit applications have been received and are being reviewed by the building department.

Mayor Turnbull

- Northville Downs asbestos removal has begun.
- Rouge River daylighting is on target to be completed by the end of 2024.
- Ford Field renovation is moving forward; Phase I should be completed in 2024.
- Northville Tree Champions was granted permission by Council to carve the tree trunk located behind City Hall and the Library.
- Funding has been obtained for The Downs log cabin relocation.
- Cemetery and Bi-Centennial Task Forces are being formed.
- Regarding salvaging some kind of historic markers for River Park and Central Park, a group toured all the buildings that are being demolished and did not find as many historic items to preserve as had been expected.

B. Planning Commissioners

Historic District Commission - Gaines

HDC met February 19, 2024.

- Approved application at 200 N. Center to replace the existing signage with signs that will be very similar to the original Detroit Edison building signs.
- Reviewed the updated Historic Review Design Guidelines draft.

Sustainability - Barry

The committee was focused on 2024-25 carbon reduction goals and objectives.

Board of Zoning Appeals - Tinberg

March 6 BZA meeting cancelled.

C. Other Community/Governmental Liaisons

None.

D. Correspondence

None.

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- F. Public comment
- G. Commission discussion & decision

MOTION by Salliotte, support by Maise, to approve the agenda as published.

Motion passed unanimously by voice vote.

7. **PUBLIC HEARINGS**

None.

8. SITE PLAN AND ZONING CHANGE APPLICATIONS

a. 340 N. Center - Commercial/Residential Building

Introduction by the Chair

Chair Tinberg explained that the Commission had referred the application for 340 N. Center back to the applicant on January 9, 2024, when the applicant had been asked to consider and incorporate Commission feedback into the site plan.

Tonight the Commission will review the revised site plan and consider the combined preliminary and final site plan for approval.

Presentation by City Planner

Referencing her December 28, 2023/revised February 26, 2024 review memorandum, City Planner Elmiger highlighted the following outstanding issues:

- Since the January 9 Planning Commission meeting, the applicant has provided the required number of street trees, but has not arranged the trees as labeled, in that all the street trees were shown on Center; all the replacement trees were shown on Rayson. The Commission should determine if the tree layout is appropriate.
- The ordinance requires streetscape furnishings. The project includes street trees, tree grades, special concrete furnishings, pavers and decorative lighting. An existing decorative light pole will remain. The Commission should determine if the proposed streetscape furnishings are appropriate.
- Remaining review comments can be handled administratively.
- City Traffic Engineer Deering had indicated that the parking lot circulation was straightforward and there were no issues with short-wheeled trucks making deliveries.
- Public Works Director Domine had indicated that he supported adding bioswale or rain garden infiltration stormwater management techniques to this site, which improvements should be shown on the plan.
- The property owner at 114 Rayson had indicated that a previous parking agreement with the Brew Pub had expired. There was no parking agreement with 340 N. Center.

Commission questions of City Planner

In response to questions from the Commission, City Planner Elmiger provided the following:

• The reference to improvements in the 100-year floodplain on page 7 of the review referred strictly to the asphalt parking lot.

- The submission documents indicated that the rain garden would infiltrate water from the roof of the building.
- The proposed parking would accommodate a dine-in restaurant.

Presentation by Applicant

Joseph Guido, Guido Architects 23419 Ford Road, Dearborn, was present on behalf of this application for preliminary and final site plan approval. Owner Al Bazzy, MBB Investments LLC, 50026 Drakes Bay Drive, Novi, was also present.

Mr. Guido provided the following information:

- 1. The existing sidewalk along Center Street will be removed and relocated east of the existing utility poles and extend to the face of the building. The sidewalk will contain sections of brick pavers along the storefronts to delineate the public walk.
- 2. The area between the new walk and the existing curb along Center Street will be landscaped as required.
- 3. The building floor plan had been revised to add a 3-story projection to the north face of the building, to comply with the 15' maximum building setback requirement along the street rights-of-way, and to match the greater than 90-degree angle corner, in order to conform to setback requirements.
- 4. The building height dimensions had been corrected on sheet A-2.
- 5. The applicant was in preliminary discussions with a restaurant for the north lease space. The patio would serve as an outdoor dining area for that restaurant. The patio was not intended to be a public plaza.
- 6. Sixteen resident-only parking spaces had been added along the east property line. There will be restricted parking after 6 p.m., when the commercial uses begin to close down.
- 7. An additional walk had been added to the south parking area to connect the public walk to the walk east of the building.
- 8. Two additional bike racks had been added to the east side of the building, bringing the total number of bike racks to two.
- 9. The trees shown in the site triangle have been removed from the landscape plan.
- 10. The decorative street lighting along Center Street will remain.
- 11. The decorative wall lights will be specified to meet ordinance requirements.
- 12. The architectural style of the building exterior had been modified to reflect the traditional character in the CBD, including modified window proportions, cadence, and alignment. In addition to full brick facades, the applicant added cast stone water tables, lintels, sills, stone accents, and framed cornices, as well as Juliette balconies with glass door walls. The style of the residential home conversions on Center Street is more compatible with the residential character and scale existing on the west side of Center Street. The proposed development is more compatible with recent commercial and residential developments on the east side of Center Street.
- 13. Rooftop mechanical screens had been added to the building elevations.
- 14. Rooftop use would be limited to mechanical equipment. The roof structural design will not allow for any pedestrian use of the roof.
- 15. HVAC requirements would be met with interior furnaces, eliminating any exposed grilles on the building exterior.

- 16. A small bioswale had been added to the north end of the building that would infiltrate a portion of the roof's stormwater runoff. Additional storm water detention measures are not required.
- 17. The parking lot will accommodate deliveries and garbage removal.

Commission questions of applicant

In response to questions, Mr. Guido provided the following further information:

- The location of rooftop screens has not been determined but will meet ordinance requirements. The screens would likely be louvered metal.
- There are two species of street trees proposed sweetgum and tulip. Both are shade trees.
- The applicant has no objections to providing a public sidewalk easement along North Center Street.
- The proposed wall light (Fixture A) will be downlit.
- Limited interior wall space in corner bedroom units make it difficult to add a window to the north facade. The bedroom units already have 2 windows, and need wall space for furniture placement.
- Exhaust would travel through the building and not through ports sticking out the side of the architecture.
- All sidewalk ramps would have tactile paving bumps, as required by the ADA (Americans with Disabilities Act).
- The differentiation band between floors two and three was based on proportionality and not on a separation of uses.

Commissioner Salliotte suggested a differentiation band be added between the first and second story, to allow for retail tenants to potentially modify the materiality of their space – within limits – in order to express their brand and set themselves apart from the rest of the building. This type of differentiation provides a layer of texture and excitement to the street-level experience.

Using images from the 37206 Building as examples, Commissioner DeBono suggested adding a material change on the first floor, and finding ways to celebrate the corner. This submission was far better than the prior design, but it could still be tweaked to help provide street-level excitement.

Mr. Guido pointed out the slight brick color differentiation between residential and retail uses.

Public comment

Jennifer Moss, 547 W. Main, said the changes made since the January meeting resulted in a better building. She supported use changes, but also asked the applicant to keep in mind the specialness of Northville, and continue to tweak the design.

Clarifying discussion

As no other public indicated they wished to speak, Chair Tinberg closed public comment and brought the matter back to the Commission. Chair Tinberg asked the Commission to

address the question of whether there was anything standing in the way of preliminary and/or final site plan approval this evening.

Commissioner Gaines referenced Zoning Ordinance Section 10.05, Central Business District-Overlay (CBD-O), specifically subsections m., n., and o. Subsection m., Stormwater Management, sought alternatives to standard delivery of rainwater into the storm system, and developers were encouraged to consult the "Low Impact Development Manual for Michigan" as they proposed alternatives. The applicant had responded to this requirement by providing a small rain garden at the north end of the site to infiltrate some of the water coming off the roof, but the token rain garden will not have much impact. There are other ways to provide LID techniques, including porous pavement, green roofs, vegetated roofs, and placement of a bioswale at the south and east ends of the site. The rainwater from the roof had not been appropriately addressed.

Commissioner Gaines thought the architecture was only a small improvement from the January submittal. Zoning Ordinance Section 10.5.n. Architecture required that the development be in character and complementary to the rest of the downtown and surrounding neighborhoods, calling out specific design components, such as the use of generous window areas and architectural detail. While the latest iteration of this development had some positive modifications, it did not go far enough to be considered compatible with existing downtown buildings and structures, as well as some of the newer buildings that have been constructed to the north of this development. Some of the proportions are awkward, and the placement of materials could be embellished.

Commissioner Gaines also thought that Zoning Ordinance Section 10.5.o. Corner Building Standards had not been met. There was nothing celebratory about the building at this corner. Instead, the applicants seemed to have offered the bare minimum response to the ordinance.

Commissioner Barry said that while more could be done to delineate the corner, the building design and building materials had come a long way, and the applicants had honored many of the Commission's requests. As he had said in the January meeting, the good news and the bad news is that this is a great site that is seen by the community; it was important that this building fits with the ordinance and meets community expectations.

Commissioner Hay was appreciative of the improvement of the building design over what was presented in January. The applicant had listened carefully to the Commission and responded to comments made. He did not see anything in the way of granting preliminary and final approval this evening, and asked City Planner Elmiger whether there were any outstanding items that would preclude approval.

City Planner Elmiger explained that there were some subjective criteria in the ordinance. In her opinion the ordinance criteria had been met, but the Planning Commission needed to decide whether or not the subjective criteria had been met. The architectural criteria were listed on page 13 of her review. Public Works Director Domine had commented regarding "if" the site can handle infiltration; this as yet was an unknown.

Two-thirds of the parking lot is in the floodplain, so it is likely that those soils are going to be in a high-water table, and will not be able to infiltrate; infiltration on the rest of the site was to be determined.

Commissioner Hay noted that on page 7 of the Planner's review, the question of whether there can be bioswales or other ways of accommodating more of the stormwater was deferred to the City Engineer during the engineering review stage, as was the review of all improvements in the 100-year flood plain. Commissioner Hay suggested that the Commission make a positive determination, conditioned on engineering approval of the infiltration on site.

Commissioner DeBono agreed that there had been significant improvements since the last submission, but the design still missed the corner building standards as listed in the ordinance. For instance, the patio that was now placed on the corner would be a better fit at the southern end of the building. The north and west faces of the building need to have a better presence for the street level retail. Ground level delineation could improve in terms of material or color change.

Commissioner Salliotte said that the corner treatment should better meet the corner standards in the ordinance. This would not require a major overhaul, but things could be done to the corner and street level presence to enhance the building as a whole.

Commissioner Maise agreed with other Commissioners' comments regarding the improvement over the last submission, as well as the need to meet corner building standards. She spoke to the importance of maintaining the raingarden; a maintenance agreement needed to be in place. However, the bigger question was whether it would be better to just consider preliminary approval tonight, and wait until after engineering review to grant final approval. Will the bioswales and raingarden be possible, based on what is discovered during engineering review? What happens if the Commission approves the site plan only to have the applicants find out that the City Engineer will not approve the raingarden?

Chair Tinberg asked the Commission if they agreed with Commissioner Maise about only considering preliminary approval until after the engineering review. Commissioner Barry agreed that it would be good to wait. Commissioner Kirk noted the proximity of the watershed; it would be good to have the Engineer's input. Commissioner Hay referred to the applicant's environmental engineer's report that accompanied the submission, which gave some information. Northville's process did not require engineering review prior to site plan approval.

City Planner Elmiger asked the applicants to address whether their engineer had addressed whether the bioswale will function at its location on the site. She noted that the site is too small to require a stormwater permit from the County.

Mr. Guido said he had talked with their engineer, who indicated that the stormwater mitigation is not what they would prefer for runoff mitigation, but was the only option for this site. The raingarden is basically a small two to three foot depression with proper plantings around it with a drain at a certain elevation. When the water gets to that

elevation, it will overflow into the drain. In normal conditions the area will pond until the water soaks in. This is not ideal, but is the best the applicants could do. The applicants thought that taking a portion of the roof runoff and running it through the bioswale was better than nothing.

Commissioner Maise raised a question about dumpster location and orientation. When using the Center Street driveway, a driver's first view is of the dumpster gates. Dumpster gates were not always kept closed.

Commissioner Gaines was concerned that until the engineering review, the Commission did not know what it was getting in terms of stormwater management. He pointed out that the LID techniques listed in the ordinance helped filtrate the water. Could using LID techniques have positive impacts across the entire site? Was it known how much of an impact the proposed bioswale would have? The answers to these questions were important, and would impact whether Commissioner Gaines could support final approval.

Commissioner Kirk pointed out past instances where the Commission asked that corner building features be enhanced, and also recalled an instance where fake windows were used to enhance the appearance of a blank wall.

Chair Tinberg suggested a change in brick pattern on the north wall. Without adding something to the corner wall the presentation will be cold and a little forbidding.

Commissioner DeBono agreed, but also emphasized that the need to enhance the corner treatment was bigger than the single wall; the corner needed to be addressed holistically. Addressing the corner could change the footprint or the design of the building, which would stand in the way of preliminary approval.

Commissioner Gaines said that the Rayson Street elevation needed to be treated as a building front.

In response to comments, City Planner Elmiger said that the building design was in response to the required setbacks along Rayson – a minimum of 10' and a maximum of 15'. The Commission could waive or modify design standards and landscape requirements, which did not include setbacks. The Commission could also modify parking requirements.

The Commission further discussed possible options for enhanced corner design, including a shared parking agreement in order to reduce the number of parking spaces, to allow for a modified building footprint.

Chair Tinberg asked the Commission to address other outstanding questions and issues in the Planner's review, and the consensus of the Commission appeared to support:

- The tree arrangement as shown meets the requirement for street trees.
- The streetscape amenities meet the intent of the ordinance.

Chair Tinberg recognized Mr. Bazzy.

Mr. Bazzy explained that the building layout was limited by the required setbacks, and that losing parking spaces in order to move the building would be a problem for residential and retail tenants. They did not want to pursue a shared parking agreement.

Commissioner Gaines thought that changes in the architecture without modifying the setbacks could provide the corner enhancement the Commission was seeking. Treating the north elevation as a street front, especially at grade, would be a big help.

Chair Tinberg said the Commission could grant preliminary and final approval, grant only preliminary approval, or refer the application back to the applicant. She suggested the Commission consider granting preliminary approval this evening.

Commissioner Hays supported granting preliminary and final approval. The application met current standards.

Commissioner DeBono said the building appeared to be a few feet back from the setback requirements, and could come further north under the current standards. This should be looked at before granting preliminary approval.

Commissioner Barry agreed, as did Commissioner Gaines. Preliminary approval should not yet be granted.

Commissioner Kirk thought the site plan was ready for preliminary approval.

Commissioner Maise said she could go either way. There were no criteria for preliminary approval that were not being met. The applicant had made good strides forward and had good direction.

Commissioner Salliotte said that enhancing the corner could lead to a massing adjustment of the corner, so preliminary approval would not be appropriate at this time.

MOTION by Salliotte, support by Gaines, to refer the request for Combined Preliminary and Final Site Plan approval proposed at 340 N. Center St, dated February 9, 2024 back to the applicant to allow the time to address:

- A. Corner treatment, including the north elevation facade.
- B. Stormwater alternatives.

Roll call vote:

Barry yes
Debono yes
Gaines yes
Hay no
Kirk no
Maise yes
Salliotte yes

Tinberg yes

Motion passed 6-2.

9. OTHER PLANNING COMMISSION BUSINESS

None.

10. **ADJOURN –** The next regularly scheduled meeting is March 19, 2024

MOTION by Barry, support by DeBono, to adjourn the meeting.

Motion passed by voice vote.

The meeting adjourned at approximately 8:53pm.

Respectfully submitted, Cheryl McGuire, Recording Secretary

VOICE: 248.332.7931

FAX: 248.332.8257



March 20, 2024

City of Northville Planning and Zoning 215 W. Main St. Northville, MI 48167

Re: 340 Center Street

City of Northville, Wayne County, Michigan

Site Plan Review

To Whom it May Concern:

Per Wayne County's Stormwater Management Ordinance, the site in question does not require stormwater management practices, yet the site is still subject to review and approval by the governing entity. The owner is taking an active approach in managing their site runoff via a small bioswale area. The site plan depicts the said bioswale area between the proposed building and northern property line. This bioswale would contain water-tolerable plantings and loose soils that allow for water containment.

Using the Wayne County method for Channel Protection, during a 1" storm event the total building would require 438 CF of storage per the equation below:

Vcpvc = A * C * 3,630 A = 5,525 S.F. building area / 43,650 S.F. = 0.127 acres C = 0.95 (impervious surface) Vcpvc = 0.127 * 0.95 * 3,630 = 438 CF required for whole building

The proposed is designed to hold 155 CF of storage volume, up to 1-foot in depth, meaning that 35% of the roof water can be contained during the 1" storm event.

In a situation where the bioswale would not reach capacity, water would infiltrate into the soil and plant material provided. In a larger event, water would be stored to the 1-foot depth, where an overflow structure would be provided, connecting the bioswale directly to the parking lot drainage system.

Should you have any additional questions, please feel free to contact me at your earliest convenience.

Sincerely,

NOWAK & FRAUS ENGINEERS

Patrick Williams, PE

Principal

ISSUED FOR: FINAL SITE PLAN APPROVAL RE-SUBMITTAL 3/22/24

MIXED USE RETAIL & APARTMENT BUILDING

340 N. CENTER STREET

NORTHVILLE, MICHIGAN



CENTER ST. ELEVATION

OWNER:

ASPRI ARCH AVG BLDG BLKG BRK CMU CT

BAZZY INVESTMENTS, LLC 4770 GREENFIELD RD. DEARBORN, MICHIGAN 48126 (313) 477-0678 al@bazzyenterprises.com

ARCHITECT:

GUIDO ARCHITECTS INC. 23419 FORD ROAD DEARBORN, MICHIGAN 48128 (313) 274-7800 jguido@guidoarchitects.com

SURVEYOR:

KEM-TEC & ASSOCIATES 22556 GRATIOT AVE. EASTPOINT, MICHIGAN 48021 (586) 772-7222 tsycko@kemtec-survey.com

CIVIL ENGINEER:

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MICHIGAN 48342 (248) 332-7931 aeizember@nfe-engr.com

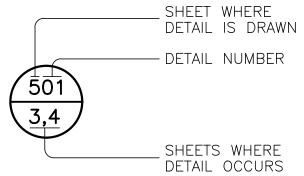
LANDSCAPE ARCHITECT:

NAGY DEVLIN LAND DESIGN, LLC 31736 WEST CHICAGO AVENUE LIVONIA, MICHIGAN 48150 (734) 634-9208 jbdevlin.rla@gmail.com

KEY TO ABBREVIATIONS
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KEY	TO ABBREVIAT	TONS	:								
ACP	ACOUSTICAL PANEL	DTL	DETAIL	FTG	FOOTING	LAV	LAVATORY	R	RISER/RADIUS	T&B	TOP AND BOTTOM
ACT	ACOUSTICAL CEILING TILE	DF	DRINKING FOUNTAIN	ВО	BY OWNER	LT	LIGHT	REBAR	REINFORCING BAR	TELE	TELEPHONE BOARD
AFF	ABOVE FINISH FLOOR	DIA	DIAMETER	FIN	FINISH	MAT	MATERIAL	REF	REFERENCE	TEMP	TEMPERED
AL	ALUMINUM	DIM	DIMENSION	FRP	FIBERGLASS REINF. PANELS	MAX	MAXIMUM	REV	REVISION	TD	TRENCH DRAIN
ANOD	ANODIZED	DN	DOWN	FRT	FIRE RETARDANT	MTL	METAL	RM	ROOM	THR	THRESHOLD
ASPH	ASPHALT	DR	DOOR	GA	GUAGE	MIN	MINIMUM	RO	ROUGH OPENING	TYP	TYPICAL
ARCH	ARCHITECTURAL	DS	DOWNSPOUT	GALV	GALVANIZED	MO	MASONRY OPENING	RTU	ROOFTOP UNIT	UNFIN	UNFINISHED
AVG	AVERAGE	DWG	DRAWIMNG	GFIC	GROUND FAULT INTERRUPTOR	MUL	MULLION	SV	STAIN AND VARNISH	UNO	UNLESS NOTED OTHERWISE
BLDG	BUILDING	EΑ	EACH	GL	GLASS	NA	NOT APPLICABLE	SC	SOLID CORE/SOLDIER COURSE	UP	UTILITY POLE
BLKG	BLOCKING	EW	EACH WAY	GYP	GYPSUM BOARD	NIC	NOT IN CONTRACT	SCH	SCHEDULE	UR	URINAL
BRK	BRICK	ELEV	ELEVATION	HDR	HEADER	NO	NUMBER	SEC	SECTION	VCT	VINYL TILE
CMU	CONCRETE BLOCK	ESMT	EASEMENT	HDW	HARDWARE	NOM	NOMINAL	SHT	SHEET	VERT	VERTICAL
CT	CERAMIC TILE	EX	EXISTING	HM	HOLLOW METAL	NTS	NOT TO SCALE	SPECS		VCT	VINYL TILE
CFM	CUBIC FEET PER MINUTE	EXT	EXTERIOR	HORIZ	HORIZONTAL	OC	ON CENTER	SF	SQUARE FEET	WDTH	WIDTH
CL	CENTER LINE	FNDN	FOUNDATION	HT	HEIGHT	OD	OUTSIDE DIAMETER	STL	STEEL	WC	WATER CLOSET
CLG	CEILING	FIN	FINISH	HW	HOT WATER		POURED CONCRETE	STOR	STORAGE	WD	WOOD
CONC	CONCRETE	FF	FINISH FLOOR	HYD	HYDRANT	PH	PHYSICALLY HANDICAPPED	STR	STRUCTURAL	WH	WATER HEATER
CONT	CONTINUOUS	FD	FLOOR DRAIN	INSUL	INSULATION	PT	PAINT	SUSP	SUSPENDED	WIN	WINDOW
CONTR		FL	FLOOR	JB	JUNCTION BOX	PLAM	PLASTIC LAMINATE	SV	SHEET VINYL	WP	WATERPROOF
CW	COLD WATER	FLSH	FLASHING	JST	JOIST	PLWD	PLYWOOD	SS	STAINLESS STEEL	WWF	WELDED WIRE FABRIC





SHEET INDEX:

ARCI	HITECTURAL/STRUCTURAL
T-1	TITLE SHEET
1of1	TOPOGRAPHIC SURVEY
SP-1	ARCHITECTURAL SITE PLAN
SP-02	CIVIL SITE PLAN
SP-02.1 SP-03	
LP-1	LANDSCAPE PLAN
1of1	PHOTOMETRIC PLAN
A-1	FIRST / SECOND / THIRD FLOOR PLANS
A-2	BUILDING ELEVATIONS
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MEC	HANICAL/ELECTRICAL/PLUMBING
	NOT ISSUED
	·

REVISED

ISSUED

PRE-APP. SUBMITTAL FINAL SPA SPA RE-SUBMITTAL

8/10/23 2/9/24 3/22/24

)	ARCHITECT'S SEAL
	Scul of brief
	OF MICA MINING
	C I
	JOSEPH ANGELO Z
	GUIDO
	ARCHITECT No.
	1301027944

JOB NO.

2201

T-1

SHEET NO.

9 MILE RD. RAYSON ST. CENTERS ST. SITE NORTHVILLE RD. 7 MILE RD. 7 MILE RD.

<u>VICINITY MAP</u>

(NOT TO SCALE)

PARCEL AREA

24,218± SQUARE FEET = 0.56± ACRES

BASIS OF BEARING

NORTH 82°48'46" EAST, BEING THE SOUTH PROPERTY LINES OF LOTS 667 THROUGH 664 AS SHOWN IN LIBER 66, PAGE 47 OF PLATS, WAYNE COUNTY RECORDS.

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

FLOOD NOTE

SUBJECT PARCEL LIES PARTIALY WITHIN:

SPECIAL FLOOD HAZARD AREA (ZONE AE): BASE FLOOD ELEVATIONS DETERMINED. (BASE FLOOD ELEV. = 816'±)

AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26163C0036E, COMMUNITY — PANEL NUMBER 260235 0036 E, DATED FEBRUARY 2, 2012, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

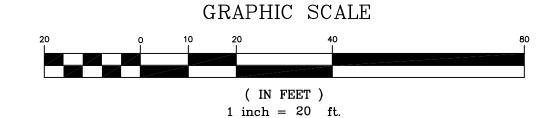
SET 1/2" REBAR WITH CAP P.S. 32341

LEGEND

•	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
	ELECTRIC METER
0	UTILITY POLE
	GAS METER
cv ⊠	GAS VALVE
8	CLEANOUT
S	SANITARY MANHOLE
⊕	ROUND CATCH BASIN
(D)	STORM DRAIN MANHOLE
	FIRE HYDRANT
>>> ⊗> ×>	WATER GATE MANHOLE
wv ⊠	WATER VALVE
AC	AIR CONDITIONING UNIT
\$	LIGHTPOST/LAMP POST
•	POST
- 。	SINGLE POST SIGN
**	DECIDUOUS TREE
1965	PARCEL BOUNDARY LINE
	PLATTED LOT LINE
	EASEMENT (AS NOTED)
	BUILDING
	BUILDING OVERHANG
	CONCRETE CURB
	PARKING
	EDGE OF CONCRETE (CONC.)
	EDGE OF ASPHALT (ASPH.)
	EDGE OF BRICK
	EDGE OF GRAVEL
x	FENCE (AS NOTED)
	WALL (AS NOTED)
	OVERHEAD UTILITY LINE
G	GAS LINE
S	SANITARY LINE
D	
———— W ————	
	CONTOUR MAJOR
	CONTOUR MINOR

TOPOGRAPHIC SURVEY





PROPERTY DESCRIPTION

LAND IS SITUATED IN THE CITY OF NORTHVILLE, COUNTY OF WAYNE, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:

LOTS 665, 666 AND 667, ASSESSOR'S NORTHVILLE PLAT NO. 7, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 66, PAGE 47 OF PLATS, WAYNE COUNTY RECORDS.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE WILLIAM T. SHEAHAN TITLE COMPANY CASE No. WS09482, DATED MARCH 4, 2008, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

10. EASEMENT FOR RANDOLPH STREET DRAIN OVER LOTS 665 AND 667 AS SET FORTH IN RETURN OF SPECIAL COMMISSIONERS RECORDED IN LIBER 20229, PAGE 729, WAYNE COUNTY RECORDS. (AS SHOWN).

11. EASEMENT GRANTED TO DETROIT EDISON COMPANY DISCLOSED BY INSTRUMENT RECORDED IN LIBER 2577, PAGE 353, WAYNE COUNTY RECORDS. (AS SHOWN)

12. PARKING LOT EASEMENT DATED APRIL 1, 1997 AND RECORDED IN LIBER 29625, PAGE 1625, WAYNE COUNTY RECORDS, AS TO LOTS 665 AND 667. (AS SHOWN)

MANHOLE SCHEDULE

WATER MANHOLE (WMH #1) STORM MANHOLE (SDM #2) RIM = 821.99'RIM = 816.11'TOP OF PIPE= 816.49' INV. 12" NE= 807.31' INV. 48" W= 807.11 INV. 36" NE=807.11' WATER MANHOLE (WMH #2) RIM = 816.61'COULD NOT OPEN SANITARY MANHOLE (SMH #1) RIM = 821.12'ROUND CATCH BASIN (CB #1) INV. 8" N= 813.42' RIM = 815.36'INV. 8" E&S= 810.12' INV. 36" S= 808.49' SANITARY MANHOLE (SMH #2) ROUND CATCH BASIN (CB #2) RIM= 814.84' RIM = 813.10'INV. 8" E&W= 803.64' INV. 36" NW= 808.10' 36" SW= RESTRICTED, UNABLE SANITARY MANHOLE (SMH #3) TO OBTAIN INV. COULD NOT OPEN ROUND CATCH BASIN (CB #3) SANITARY MANHOLE (SMH #4) RIM = 815.19'INV. 12" SW= 811.49' RIM= 817.67' TOP OF MUCK= 810.17' STORM MANHOLE (SDM #1) BOTTOM OF STRUCTURE= 809.37' RIM = 815.37'FULL OF DEBRIS INV. 36" SE&N= 808.12'

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

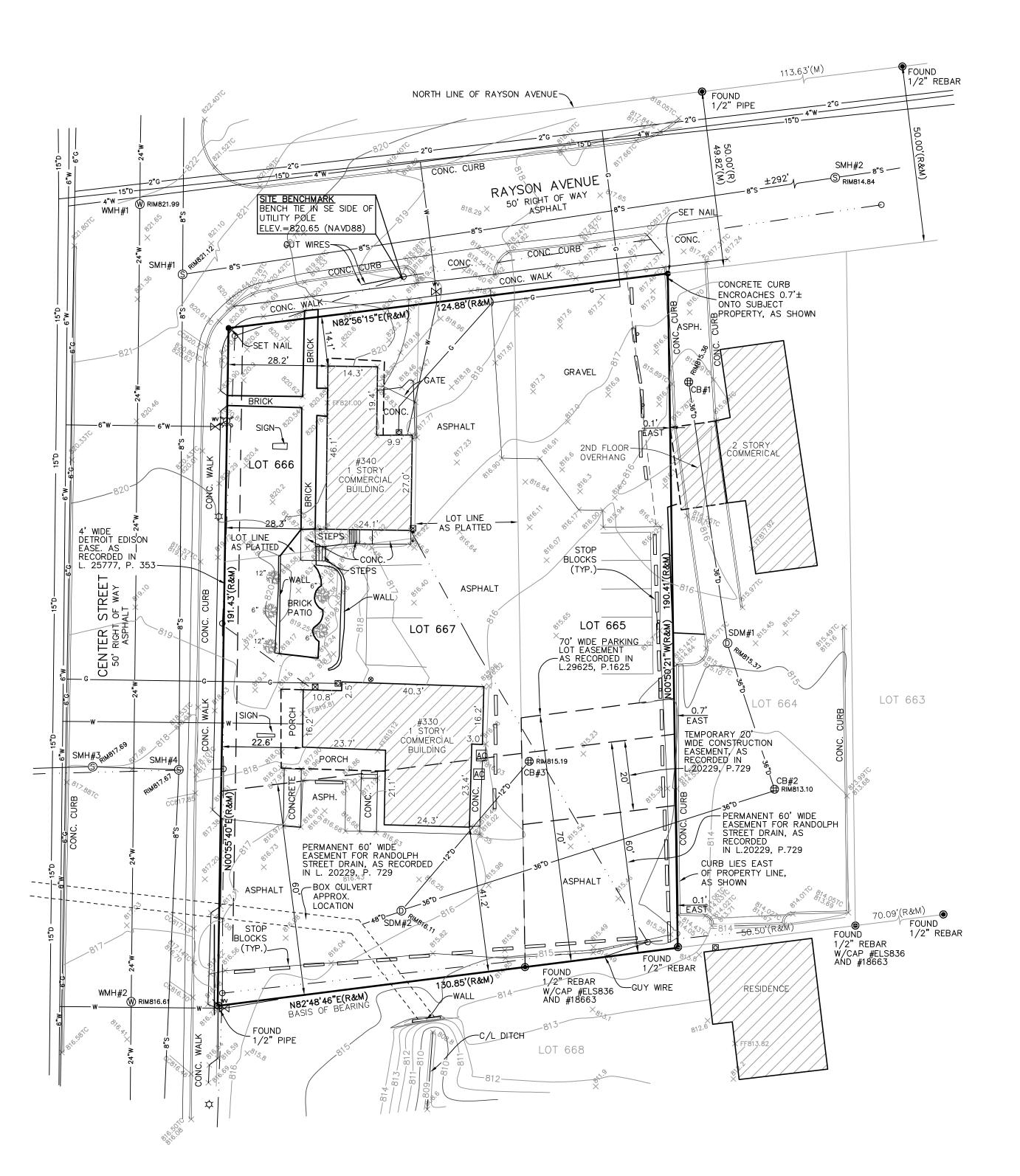
THOMAS G. SMITH, P.S. PROFESSIONAL SURVEYOR MICHIGAN LICENSE NO. 32341

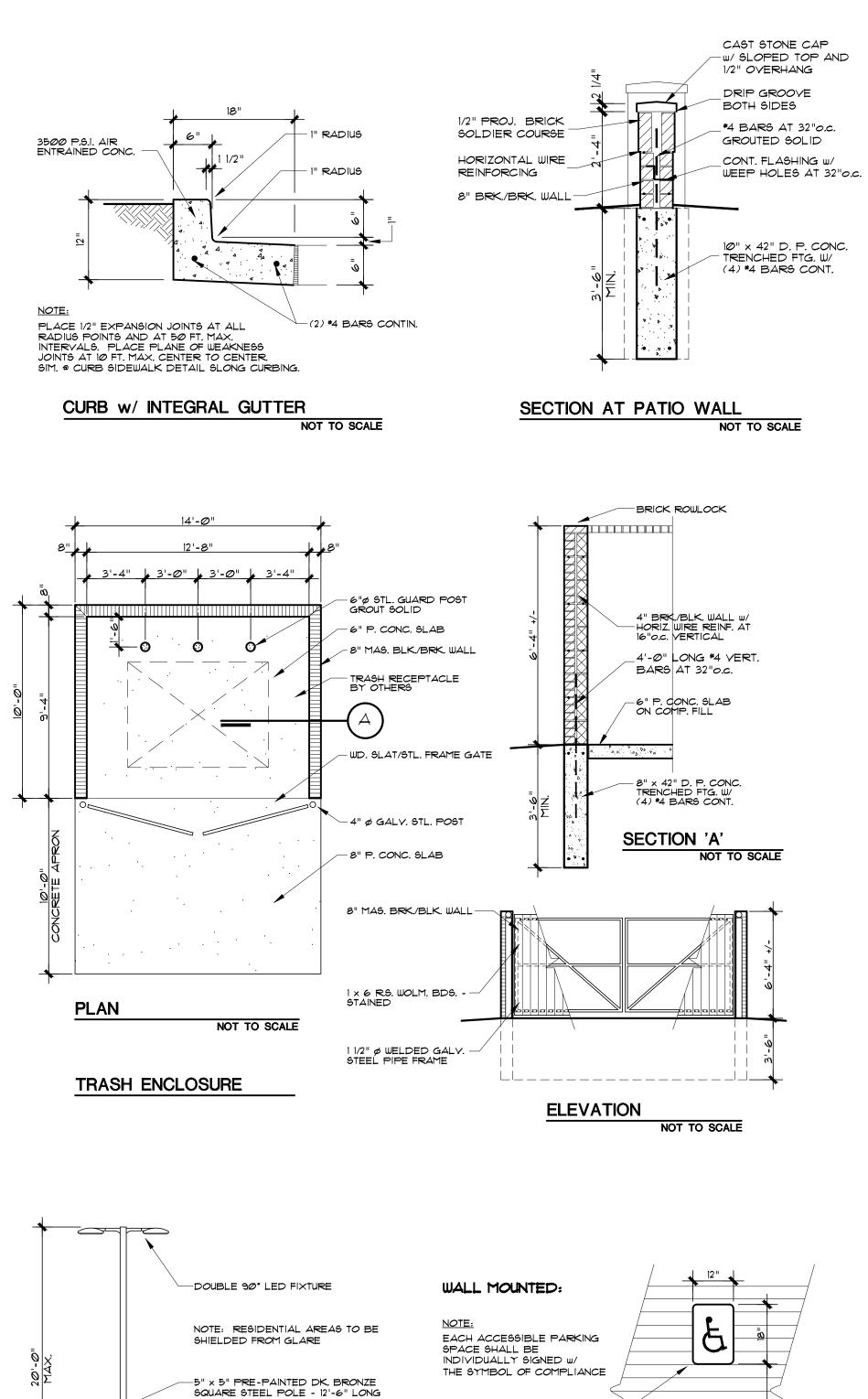


KEM-TEC & ASSOCIATES

PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS
22556 GRATIOT AVE * EASTPOINTE, MICHIGAN 48021
(586)772-2222 * (800)295-7222 * FAX (586)772-4048

CERTIFIED TO: BMB INVESTMENTS, LLC.						
DATE: MAY 10, 2016	JOB #: 16-01359					
SCALE: 1" = 20'	SHEET: 1 OF 1					
DRAWN BY: DLD	REV.:					





NON-PROJECTING WALL-

P.H. SIGNAGE - PARKING

NOT TO SCALE

MOUNTED SIGN

FINISH GRADE

— 1" CHAMFER

_20"Ø CONC. BASE W/ INTEGRAL

-(6)5'-0" LONG #4 VERT. BARS

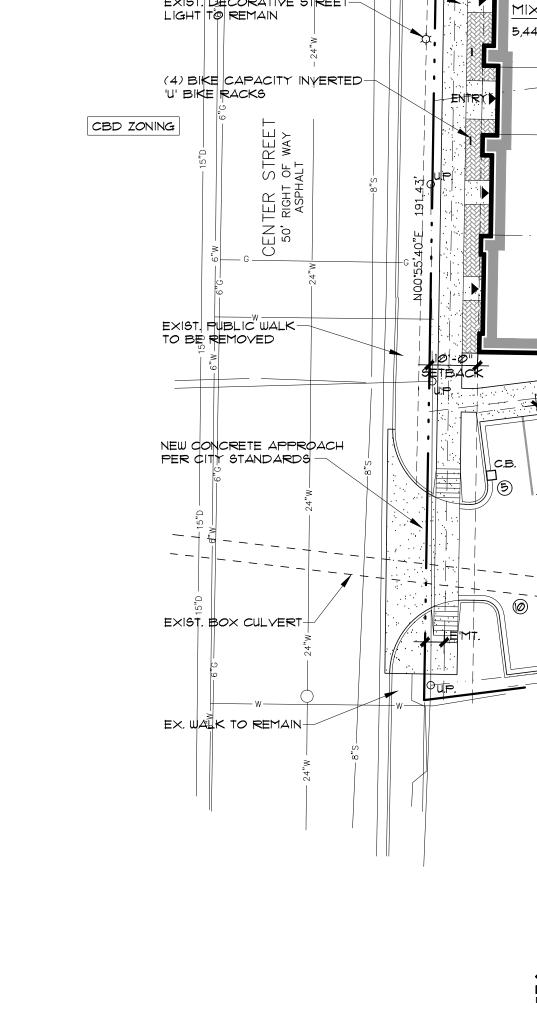
MOUNTING BOLTS PER

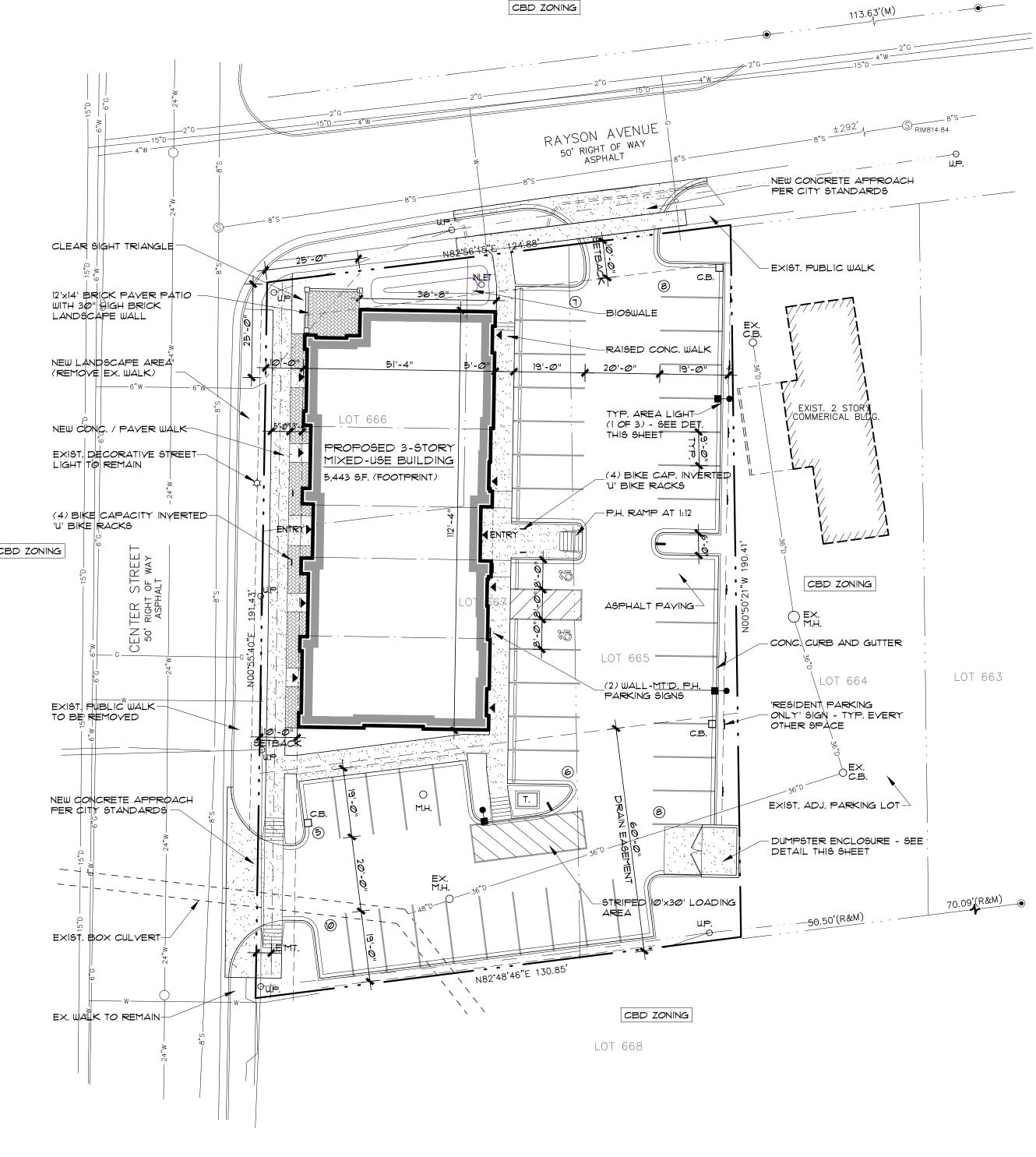
-BURIED CONDUIT

NOT TO SCALE

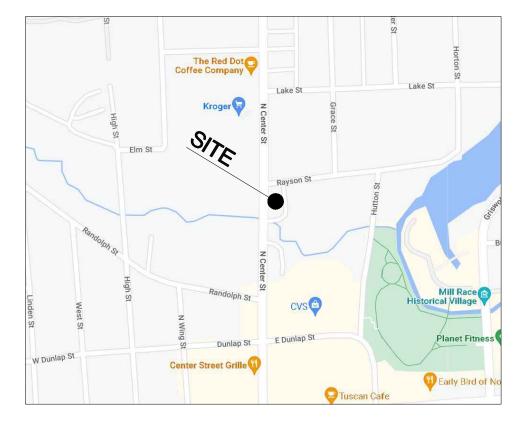
TYPICAL LIGHT STANDARD

MANUFACTURER'S SPECS.





SCALE: 1" = 20'-0"





DEVELOPER

AL BAZZY, MEMBER al@bazzyenterprises.com

BAZZY INVESTMENTS, L.L.C. 4770 GREENFIELD ROAD, DEARBORN, MI 48126

THE PROJECT INVOLVES THE REMOVAL OF TWO

LAND IS SITUATED IN THE CITY OF NORTHVILLE,

LOTS 665, 666 AND 667, ASSESSOR'S NORTHVILLE

PLAT NO. 7, ACCORDING TO THE PLAT THEREOF AS

24,218 S.F. (.56 Ac.)

PARKING REQUIRED: 4,823 G.S.F. RETAIL AT 1/250 = 19

PARKING PROVIDED: 44 SPACES INC. (2) P.H. SPACES

5,443 S.F. (FOOTPRINT)

(8) 2 BR. UNITS AT 2/UNIT = 16

COUNTY OF WAYNE, STATE OF MICHIGAN, AND

RECORDED IN LIBER 66, PAGE 41 OF PLATS, WAYNE COUNTY RECORDS.

EXISTING COMMERCIAL BUILDINGS AND THE

3-STORY, MIXED-USE RETAIL / APARTMENT BUILDING AND RELATED SITE IMPROVEMENTS.

PROJECT DESCRIPTION

DEVELOPMENT OF A NEW +/-15,435 S.F.,

PROPERTY DESCRIPTION

DESCRIBED AS FOLLOWS:

CURRENT ZONING: CBD-0

PROPOSED ZONING: CBD-0

LANDSCAPE AREA: 3,222 S.F. (13.3%)

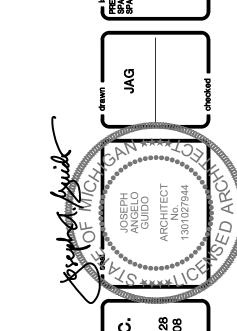
LOADING REQUIRED: (1) SPACE AT 10'x50' LOADING PROVIDED: (1) SPACE AT 10'x30'

SITE DATA

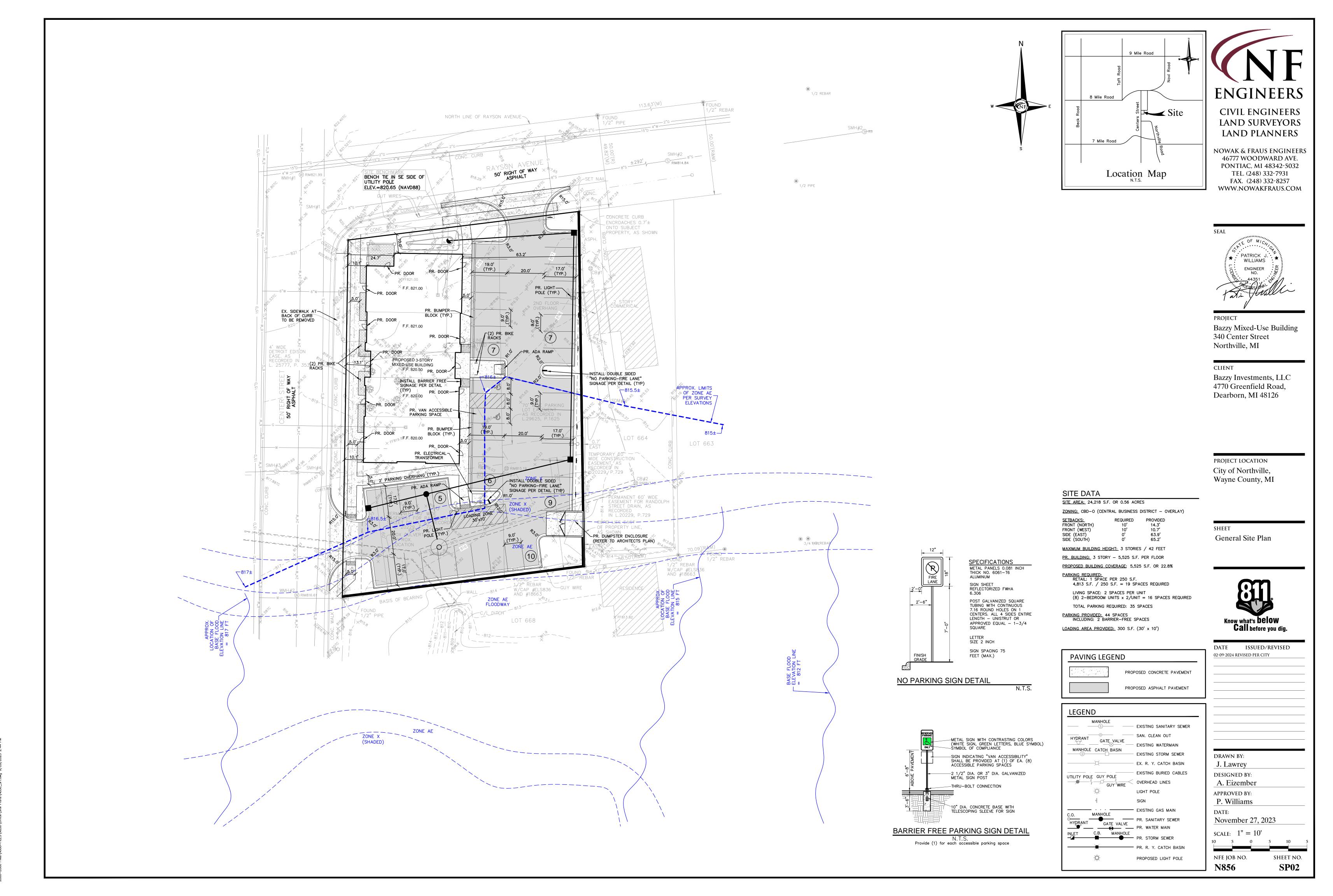
BUILDING AREA:

SITE AREA:

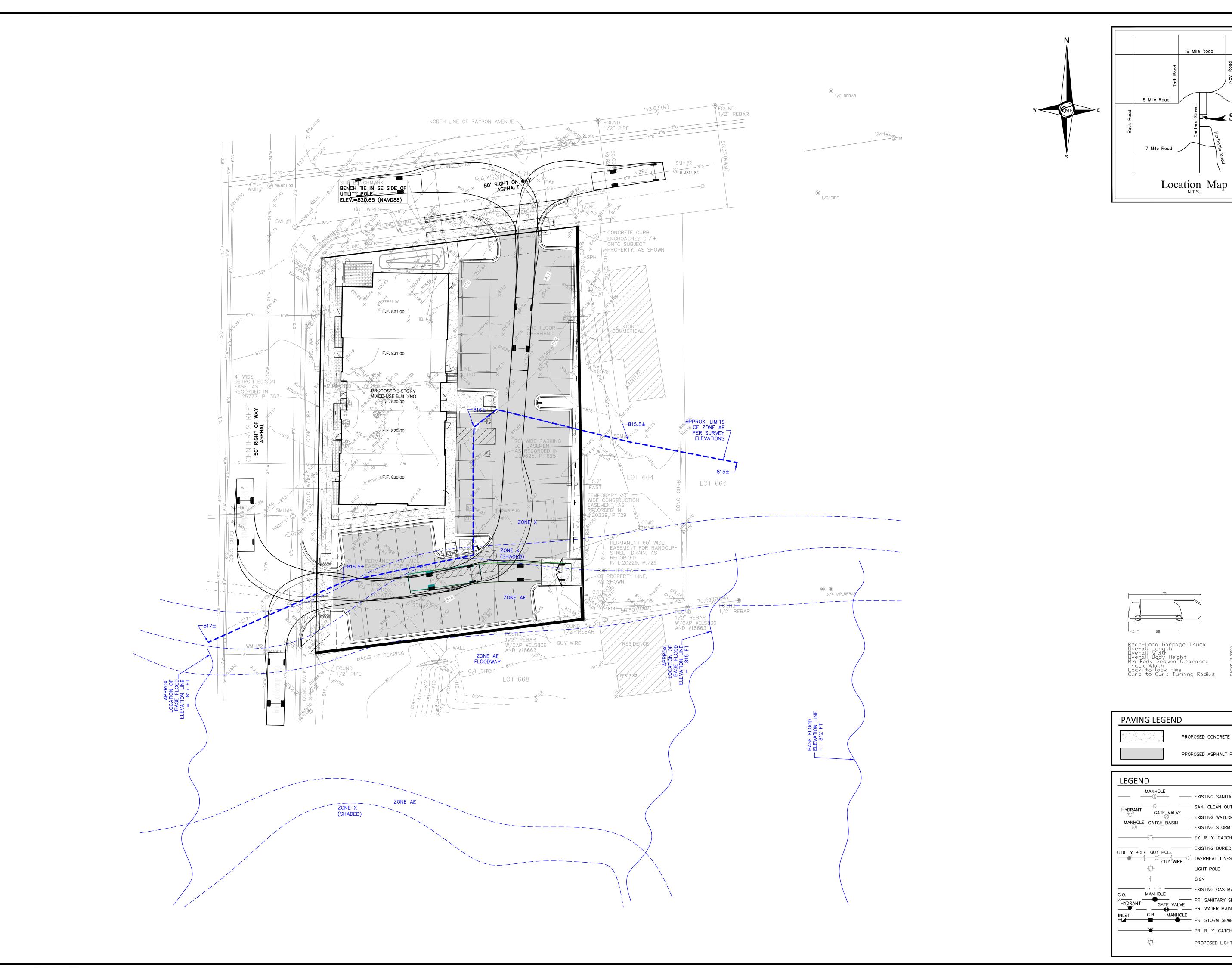
COVERAGE:

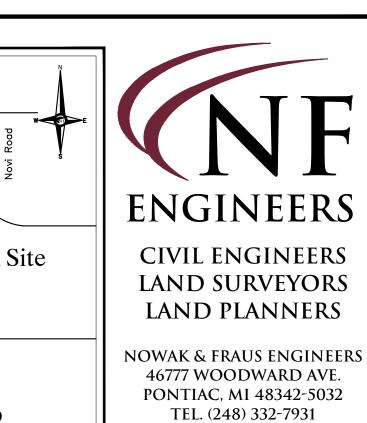


201



CENT TOOL ELLAN MOON ELLEN MOES OFFICE PLAN NOSE CIT ALL ON POR





9 Mile Road

SEAL PATRICK J. WILLIAMS

FAX. (248) 332-8257

WWW.NOWAKFRAUS.COM

Bazzy Mixed-Use Building 340 Center Street Northville, MI

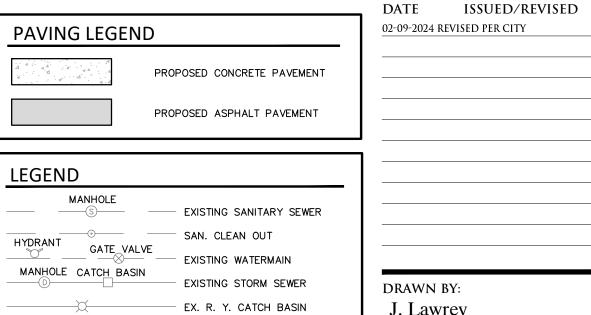
CLIENT Bazzy Investments, LLC 4770 Greenfield Road, Dearborn, MI 48126

PROJECT LOCATION City of Northville, Wayne County, MI

Garbage Truck Maneuvering Plan





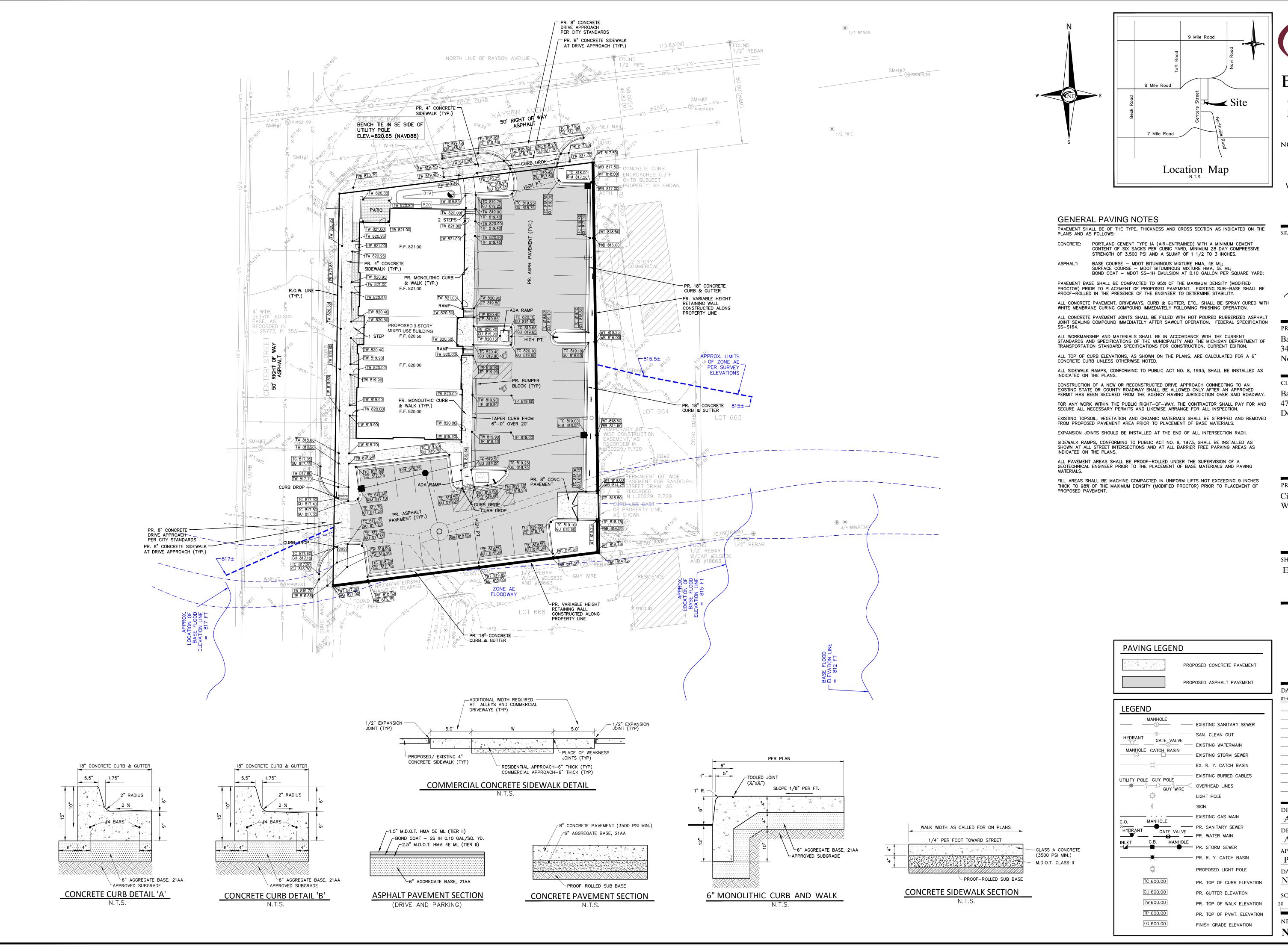


PROPOSED LIGHT POLE

J. Lawrey **DESIGNED BY:** A. Eizember APPROVED BY: P. Williams DATE: November 27, 2023

SHEET NO. NFE JOB NO.

N856 **SP02.1**



ENGINEERS

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

PATRICK J WILLIAMS ENGINEER NO.

PROJECT Bazzy Mixed-Use Building 340 Center Street

Northville, MI

CLIENT

Bazzy Investments, LLC 4770 Greenfield Road, Dearborn, MI 48126

PROJECT LOCATION City of Northville, Wayne County, MI

Engineering Site Plan

Know what's **below Call** before you dig.

DATE ISSUED/REVISED 02-09-2024 REVISED PER CITY DATE:

DRAWN BY: A. Eizember **DESIGNED BY:** A. Eizember APPROVED BY: P. Williams November 27, 2023 SCALE: 1'' = 20'

NFE JOB NO. SHEET NO. N856 **SP03**

LANDSCAPE DEVELOPMENT NOTES:

PLANTING

- 1. Installation of all plant material shall be in accordance with the latest edition of the American Association of Nurserymen Standards for Nursery Stock and with the specifications set forth by the City of Northville, Michigan.
- 2. The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- 3. The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- 4. Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- 5. Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- 6. The Contractor is responsible for planting the materials at the correct grades and
- spacing. The plants shall be oriented to give the best appearance.

 7. When the plant has been properly set, the pit shall be backfilled with the topsoil
- mixture, gradually filling, patting, and settling with water.

 8. Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4') deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of four inches (4"). Only natural color shredded hardwood bark mulch will be accepted.
- 9. Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- 10.All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Do not apply tree paint to freshly cut wounds.
- 11.Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- 12.All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil. Peat sod is not acceptable. Existing lawn in generally good condition but with bare, sparse, or weedy areas must be renovated by filling in low areas, raking, overseeding, and top dressing all sparse and bare spots and continuing with a weed and feed program.
- 13.All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- 14.Backfill directly behind all curbs and along sidewalks and compact to the to of curbs or walk to support vehicle and pedestrian weight without settling.
- 15.All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
- 16.Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site; b. Call the City for an inspection prior to backfilling; c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.

If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.

17.Edging shall consist of Ryerson Steel edging, Perma-Loc aluminum edging, spaded edge, or approved equivalent.

18.Elevate the rootballs of Yew shrubs to allow for better drainage.

MATERIAL

- Required landscape material shall satisfy the criteria of the American
 Association of Nurserymen Standards for Nursery Stock and be: a. Nursery
 grown; b. State Department of Agriculture inspected; c. No. 1 grade material
 with a straight, unscarred trunk, and well-developed uniform crown (park grade
 trees will not be accepted); d. Staked, wrapped, watered, and mulched
 according to the details provided; and e. Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clay loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- 3. The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Chewing Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- 4. Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- 5. Proposed perennials shall be full, well-rooted plants.
- 6. Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

GENERAL

- 1. Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- 2. The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- 3. The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- 4. All landscape areas including parking lot islands shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- 5. All written dimensions override scale dimensions on the plans.
- 6. Report all changes, substitutions, or deletions to the Owner's representative.7. All bidders must inspect the site and report any discrepancies to the Owner's
- Tepreseritative.

 All specifications are subject to change due to existing conditions.
- 8. All specifications are subject to change due to existing conditions.9. The Owner's representative reserves the right to approve all plant material.10.All ground mounted mechanical units shall be screened on three (3) sides with

living plant material. MAINTENANCE OF GENERAL LANDSCAPE AREAS

- 1. The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- 2. The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- 3. The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- 4. All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- 5. Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- 6. All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- 7. Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.
- 8. Protect plantings along Center Street and Rayson Avenue during the winter with a burlap covering.

NOTES:

EVERGREEN TREE

PLANT LIST KEY QTY. BOTANICAL NAME COMMON NAME

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Stree	t Tre	e Planting		
LSS	8	Liquidambar styraciflua	Slender Silhouette	
		'Slender Silhouette'	American Sweetgum	2-1/2" cal. B&B
PFG	9	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	24" ht., 3 gal. pot
TMD	5	Taxus x media 'Densiformis'	Densiformis Yew	30" ht. B&B
HSF	42	Hosta sp. 'Francee'	Francee Hosta	1 gal. pot, 24" o.c.
NFW	44	Nepeta x faassenii 'Walker's Low'	Walker's Low Nepeta	1 gal. pot, 24" o.c.
Parki	ng L	ot Buffer Along Rights-of-Way		
LTA	2	Liriodendron tulipifera 'Arnold'	Arnold Tuliptree	2-1/2" cal. B&B
RAG	29	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
CVM	136	Coreopsis verticillata 'Moonbeam'	Moonbeam Threadleaf Coreopsis	1 gal. pot, 24" o.c.
HHR	36	Hemerocallis sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 24" o.c.
Parki	ng L	ot Interior Landscape Area		
CAR	5	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	24" ht., 3 gal. pot
IVL		<i>Itea virginica</i> 'Little Henry'	Little Henry Sweetspire	24" ht., 3 gal. pot
HHR	112	Hemerocallis sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 24" o.c.
EPM	56	Echinacea purpureum 'Magnus'	Magnus Purple Coneflower	1 gal. pot, 30" o.c.
Repla	acem	ent Trees		
AAO	2	Amelanchier alnifolia 'Obelisk'	Standing Ovation Serviceberry	2" cal. B&B
ALC	2	Amelanchier laevis 'Cumulus'	Cumulus Serviceberry	2" cal. B&B
ASA	2	Acer saccharum 'Apollo'	Apollo Sugar Maple	2-1/2" cal. B&B
ARA	1	Acer rubrum 'Armstrong Gold'	Armstrong Gold Maple	2-1/2" cal. B&B
GBF	1	8	Fastigiate Maidenhair Tree	2-1/2" cal. B&B
LSS	1	Liquidambar styraciflua	Slender Silhouette	
		'Slender Silhouette'	American Sweetgum	2-1/2" cal. B&B
TOE		Thuja occidentalis 'Emerald Green'	Emerald Green Upr. Arborvitae	8' ht. B&B
	ral S	ite Planting		
CAR	9	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	24" ht., 3 gal. pot
CSA		Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	24" ht., 3 gal. pot
PFH		Potentilla fruticosa 'Pink Paradise'	· · · ·	24" ht., 3 gal. pot
JVG	10	Juniperus virginiana	Grey Guardian	
		'Grey Guardian'	Spreading Juniper	24" spr., 3 gal. pot
PAB	82	Pennisetum alopecuroides	Burgandy Bunny Dwarf	

LANDSCAPE CALCULATIONS:

'Burgandy Bunny'

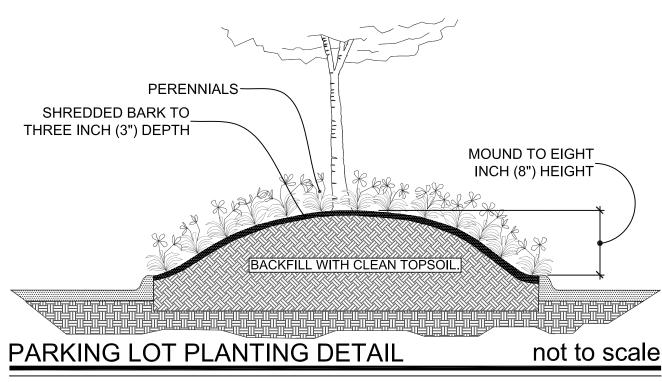
STREET TREES - CENTER STREET (191.43 In. ft.) RAYSON AVENUE (124.88')

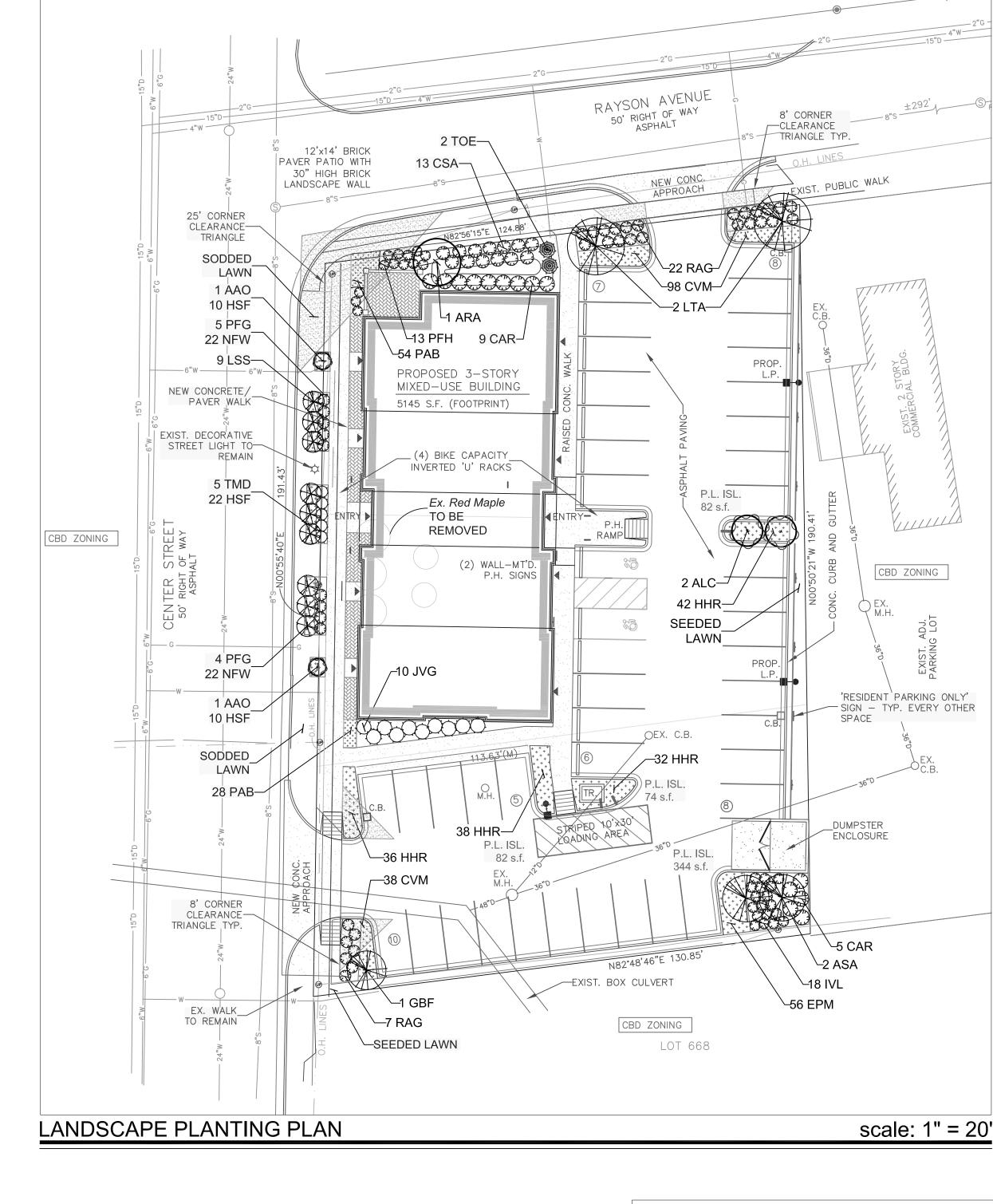
Fountain Grass

1 gal. pot, 24" o.c.

- * One (1) deciduous tree for every forty lineal feet (40 l.f.)
- * 316 ln. ft. divided by one (1) tree per 40 ln. ft. = 8 trees
- PARKING LOT BUFFER ALONG RIGHTS-OF-WAY (60 I.f.)
- Minimum of six foot (6') wide landscape greenbelt
- * One (1) deciduous tree for every forty lineal feet (40 l.f.) = 1 tree
- * Ten (10) shrubs for every forty lineal feet (40 l.f.) = 10 shrubs
 VEHICULAR USE AREA IN PARKING LOT (12,576 square feet)
- * One and one half square feet (1.5 sq. ft.) of interior parking lot landscape area (IPLLA)
- for every one hundred square feet (100 sq. ft.) of vehicular use area

 * 12,576 divided by 100 equals 125.76 times 1.5 = 189 sq. ft. of IPLLA
- * Interior parking lot landscape area provided equals 582 square feet
- * One (1) deciduous tree for every 100 square feet (100 sq. ft.) IPLLA = 1.89 = 2 trees TREE REPLACEMENT
- * Trees to be removed includes two (2) 12" d.b.h. trees and three (3) 6" d.b.h. trees
- * Seventeen and one half inches (17.5") of replacement required
- * 17.5" divided by 2.5" per tree = 7 trees

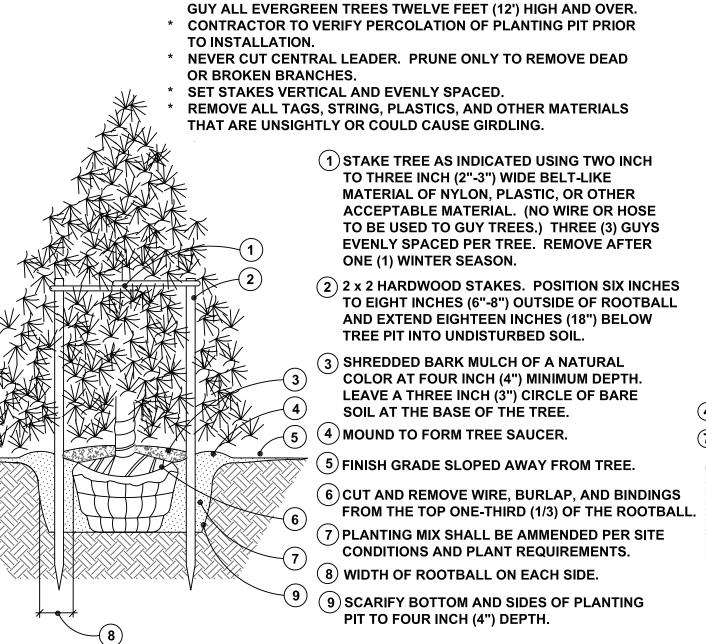




* STAKE TREES UNDER FOUR INCH (4") CALIPER. * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION. * SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE. * SET STAKES VERTICAL & EVENLY SPACED. * STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR **BROKEN BRANCHES** REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE. (1)STAKE TREE JUST BELOW FIRST BRANCH USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON. (2) 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL. 3) APPLY TREE WRAP AND SECURE WITH A **BIODEGRADABLE MATERIAL AT TOP AND** BOTTOM. REMOVE AFTER ONE (1) WINTER. SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE. (5) MOUND TO FORM TREE SAUCER. 6) FINISH GRADE SLOPED AWAY FROM TREE. 7) CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL. 9) (8) WIDTH OF ROOTBALL ON EACH SIDE. (9) PLANTING MIX SHALL BE AMMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.

(10) SCARIFY BOTTOM AND SIDES OF PLANTING

PIT TO FOUR INCH (4") DEPTH.



* STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH

GENERAL NOTES FOR ALL PLANTINGS * DO NOT CUT CENTRAL LEADER. * REMOVE ALL TAGS, STRINGS,PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING. * PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS. st CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. **GENTLY TAMP IF NEEDED.** NOTE: * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION. m(1) SHREDDED BARK MULCH AT FOUR INCH (4") MINIMUM DEPTH. MULCH SHALL BE NATURAL IN COLOR. (2) FORM A SAUCER WITH MULCH AND SOIL AROUND SHRUB BED. CUT AND REMOVE BURLAP AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL. (4) 3/16" x 4" ALUMINUM EDGING (OR APPROVEDEQUIVALENT) OR SPADED EDGE. 5 EXCAVATE PLANTING HOLE AND

BACKFILL WITH PREPARED

6) UNDISTURBED SUBGRADE.

PLANTING MIX.

(8) SCARIFY SUBGRADE.

7 LAWN.

* CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION. * PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED. (1) SEE PLANT LIST FOR SPACING DISTANCE. (2) SHREDDED HARDWOOD BARK OF A NATURAL COLOR MULCH AT FOUR INCH (4") MINIMUM DEPTH. 3) 3/16" x 4" ALUMINUM EDGING (OR APPROVED **EQUIVALENT) OR SPADED EDGE.** 4) EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH. 5) UNDISTURBED SUBGRADE. 6 PLANTING MIX TO CONSIST OF EQUAL PARTS $\check{}$ OF SAND, LEAF COMPOST, AND NATIVE SOIL 7 LAWN.

scale: 1" = 20'

date: November 27, 2023
revised:

Know what's below

02-09-2024 Revise for City review ltr.

dated December 28, 2023.

LANDSCAPE PLAN FOR: Guido Architects Inc. 23419 Ford Road Dearborn, Michigan 48128 (313) 274-7800 PROJECT LOCATION:
Mixed Use Retail &
Apartment Building
340 Center Street
Northville, Michigan

LANDSCAPE PLAN BY:
Nagy Devlin Land Design, L.L.C.
31736 West Chicago Avenue
Livonia, Michigan 48150
(734) 634-9208



LP - 1: LANDSCAPE PLANTING PLAN

* Base data from Guido Architects, Inc.

PLANTING DETAILS

DECIDUOUS TREE

SHRUB

ANNUAL / PERENNIAL / GROUNDCOVER not to scale

Symbol	Label	QTY	Manufacturer	Description	Lamp	Mounting Height
	Α	13	BEGA	Wall luminaires with single-sided light output 4000K	LED	7'-6"
	В	6	Lithonia Lighting	6IN SQUARE LDN DOWNLIGHT 4000K	LED	9'-4"
	С	1	Lithonia Lighting	D-Series Size 0 Area Luminaire 4000K	LED	20'-0"
	D	2	Lithonia Lighting	D-Series Size 0 Area Luminaire 4000K	LED	20'-0"

General Note

- 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- 2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- 3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' 0".

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT

IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Wall luminaires with single-sided light output

Housing: Extruded and die cast aluminum. Mounts directly to a BEGA 19537 box (provided). Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: Tempered, clear glass, flush to the die casting to prevent water accumulation. Fully gasketed for weather tight operation using a 'U' channel molded silicone rubber gasket.

Electrical: 12.5W LED luminaire, 15.9 total system watts, -40°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V, TRIAC, and ELV dimmable. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to

Notes: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards for wet locations. Protection class IP65

Weight: 7.3 lbs

Luminaire Lumens: 1258



Narrow beam upwards or downwards

β = Beam angle *Small opening wiring box included.

d"series

14.06"

2.26"

Specifications

EPA:

Width:

Height H1:

Height H2:

Shipped installed

COMMERCIAL OUTDOOR

NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion /

sensor enabled at 2fc. 11, 12, 18, 19

ambient sensor, 8-40' mounting height, ambient

High/low, motion/ambient sensor, 8–40' mounting height, ambient sensor enabled at 2fc 11, 10, 10

NEMA twist-lock receptacle only (controls ordered

Five-pin receptacle only (controls ordered separate) 12

12.5W LED



Introduction

luminaire.

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Shipped installed

L90 Left rotated optics 1

R90 Right rotated optics 1

CCE Coastal Construction 21

Shipped separately

HA 50°C ambient operation 22

BAA Buy America(n) Act Compliant

SF Single fuse (120, 277, 347V) 24

DF Double fuse (208, 240, 480V) 34

EGSR External Glare Shield (reversible, field install

required, matches housing finish)

BSDB Bird Spikes (field install required)

HS Houseside shield (black finish standard)²⁰

The modern styling of the D-Series features a

highly refined aesthetic that blends seamlessly

with its environment. The D-Series offers the

benefits of the latest in LED technology into

a high performance, high efficacy, long-life

The photometric performance results in sites

with excellent uniformity, greater pole spacing

and lower power density. D-Series outstanding

poles required in area lighting applications, with

photometry aids in reducing the number of

typical energy savings of 70% and expected

service life of over 100,000 hours.

BEGA Product:

Project:

Voltage:

Color:

Options:

Modified:

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com Ocopyright BEGA 2017 Updated 1/18

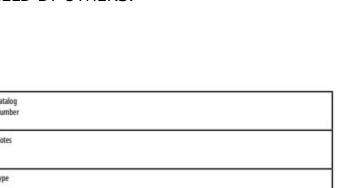
D-Series Size 0

DIC NAME OF THE BAA

THEFT

LED Area Luminaire

shipped ahead of the luminaire.



FEATURES & SPECIFICATIONS INTENDED USE - Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Durable square metal reflectors retained by torsion springs. Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out).

VA LITHONIA LIGHTING*

Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens.

No. 12 AWG conductors, rated for 90°C.

A+ Capable options indicated by this color background.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white

and black painted reflectors. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1%

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours. LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IPSS

rated. ENERGY STAR* certified product. BUY AMERICAN ACT — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information. WARRANTY - 5-year limited warranty. This is the only warranty provided and no other statements in this

specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed.

Complete warranty terms located at:

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.















_		
m?		
GY STAR	Court	

Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Rotated optics P10 P12 P11 P13	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI 80CRI 80CRI	T1S Type Short T5LG Type T2M Type I medium T5W Type T3M Type II medium BLC3 Type T3LG Type II low glare T4M Type V medium BLC4 Type T4LG Type V low glare LCC0 Left T5LM T5LM	we V medium e V low glare e V wide e Ill backlight of toriner cutoff 3 WOUT (120V-277V) * HVOLT (347V-480V) * XVOLT (277V-480V) * 120 *4.34 208 *4.34 240 *4.34 277 *6.34 347 *6.34 480 *6.34	Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPAS Square pole mounting (#5 drilling, 3" min. SQ pole) RPAS Round pole mounting (#5 drilling, 3" min. RND pole) SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket 13. MA Mast arm adapter (mounts on 2 3/8" 0D horizontal tenom)

PER7 Seven-pin receptacle only (controls

BL30 Bi-level switched dimming, 30% 14, 11

BLSO Bi-level switched dimming, 50% 14, 19

DMG 0-10v dimming wires pulled outside

fixture (for use with an external control,

FAO Field adjustable output 15,19

30/ 35/ 40/ 50/	3000K 07 750 lumens 30 3000 lumens LSW6 Wal 3500K 10 1000 lumens 40 4000 lumens 4000 lumens 4000K 15 1500 lumens 50 5000 lumens 5000K 20 2000 lumens 30 3000 lumens 30	wash WR ²	White LD Matte diffuse 120 120V Black LS Specular 277 277V 347 ³ 347V
Driver	Options	8	
5210 0-10V driver dims to 10% 521 0-10V driver dims to 196 Minimum dimming 10% driver for use with JOT Officer of use with JOT Officer of use with JOT OFFICER OFFI OFFI OFFI OFFI OFFI OFFI OFFI OFF	SF4 Single fuse TRW2 White painted flange TRBL3 Black painted flange EL4 Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELR6 Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELSD4 Emergency battery pack with self-diagnostics, integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELRSD6 Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS E10WCP6 Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB E10WCP7 Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB NPP16D7 nLight6 network power/relay pack with 0-10V dimming for noneldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	N80° JOT" NPS80EZ7 NPS80EZER7 HAO" CP "2 RRL NLTAIR2 * 3.0.34 NLTAIRER2 * 3.0 NLTAIREM2 * 3.0 BAA 90CRI	nLight" Lumen Compensation Wireless room control with "Just One Touch" pairing nLight" dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). nLight" dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit. High ambient option Chicago Plenum RELOC"-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Available only in RRLA, RRLB, RRLAE, and RRLC12S. Refer to RRL spec sheet on www.acuitybrands.com for the RELOC product specifications. nLight" Air enabled nLight" Air Bimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options nLight" AIR Dimming Pack Wireless Controls. U1924 Emergency Operation, via power interrupt detection. Available with battery pack options. Buy America(n) Act Compliant High CRI (90+)

LDN6SQ 6"square 27/ 2700K 05 500 lumens 25 2500 lumens LS6 Downlight AR Clear LSS Semi-specular MVOLT Multi-volt

1 Overall height varies based on lumen package; refer to dimensional chart on page 3.

Not available with finishes. 3 Not available with emergency option

 Must specify voltage 120V or 277V.
 Available with clear (AR) reflector only. 6 12.5" of plenum depth or top access required for battery pack maintenance.

Specify voltage, ER for use with generator supply EM power. Will require an emergency hot feed and normal

9 Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options. 10 NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations. 1 Fixture height is 6.5" for all lumen packages with HAO.

12 Must specify voltage for 3000lm and above. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option. 13 Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

14 When combined with EZ1 and EZ10 drivers, can be used as a normal power sensing device for nLight AIR devices 8 Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.

DOWNLIGHTING

Lead times will vary depending on options selected. Consult with your sales representative.

LITHONIA LIGHTING One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2011-2023 Acuity Brands Lighting, Inc. All rights reserved.



DDBXD Dark Bronze

DNAXD Natural Aluminum

DDBTXD Textured dark bronze

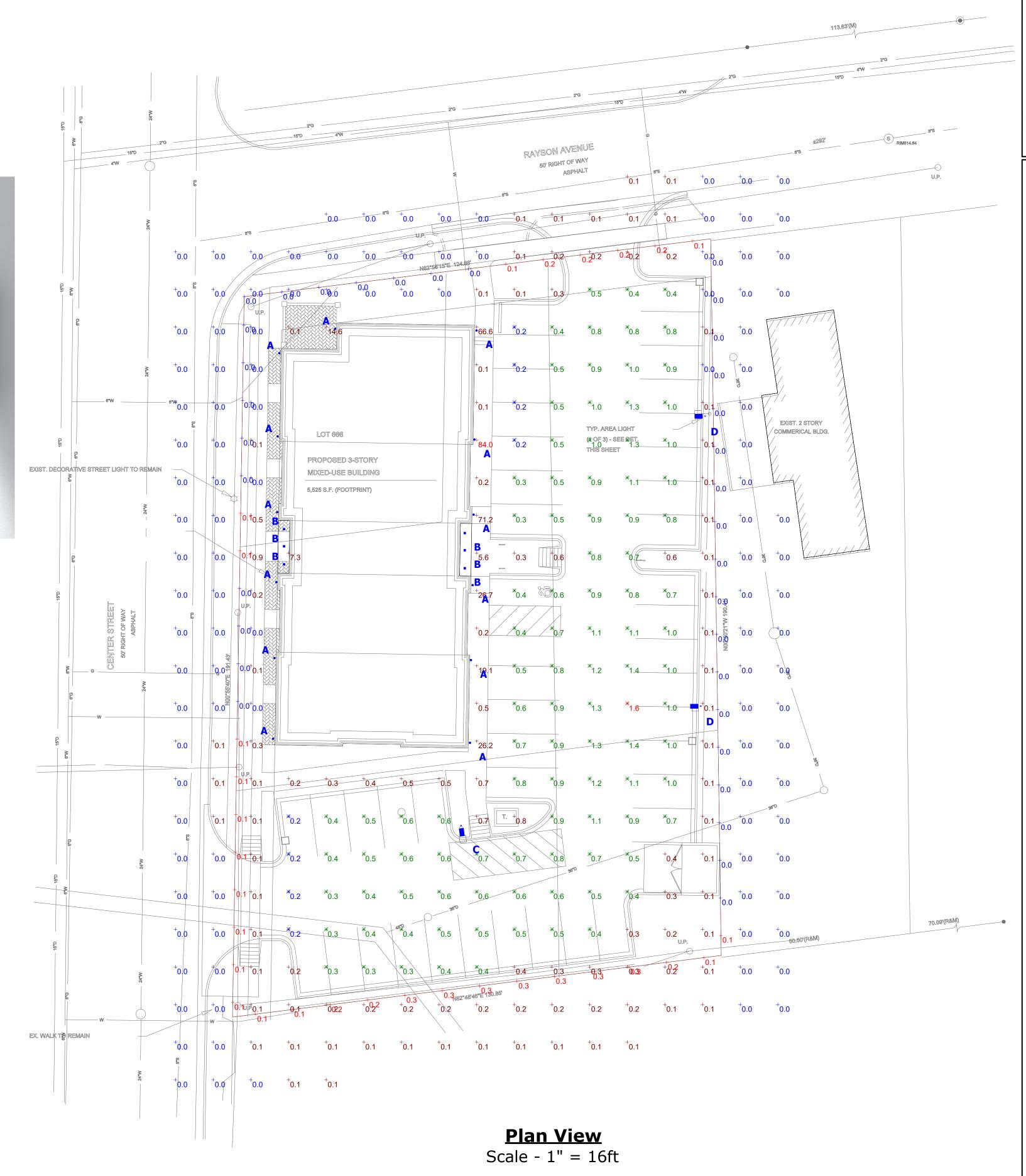
DNATXD Textured natural aluminum

DBLBXD Textured black

DWHGXD Textured white

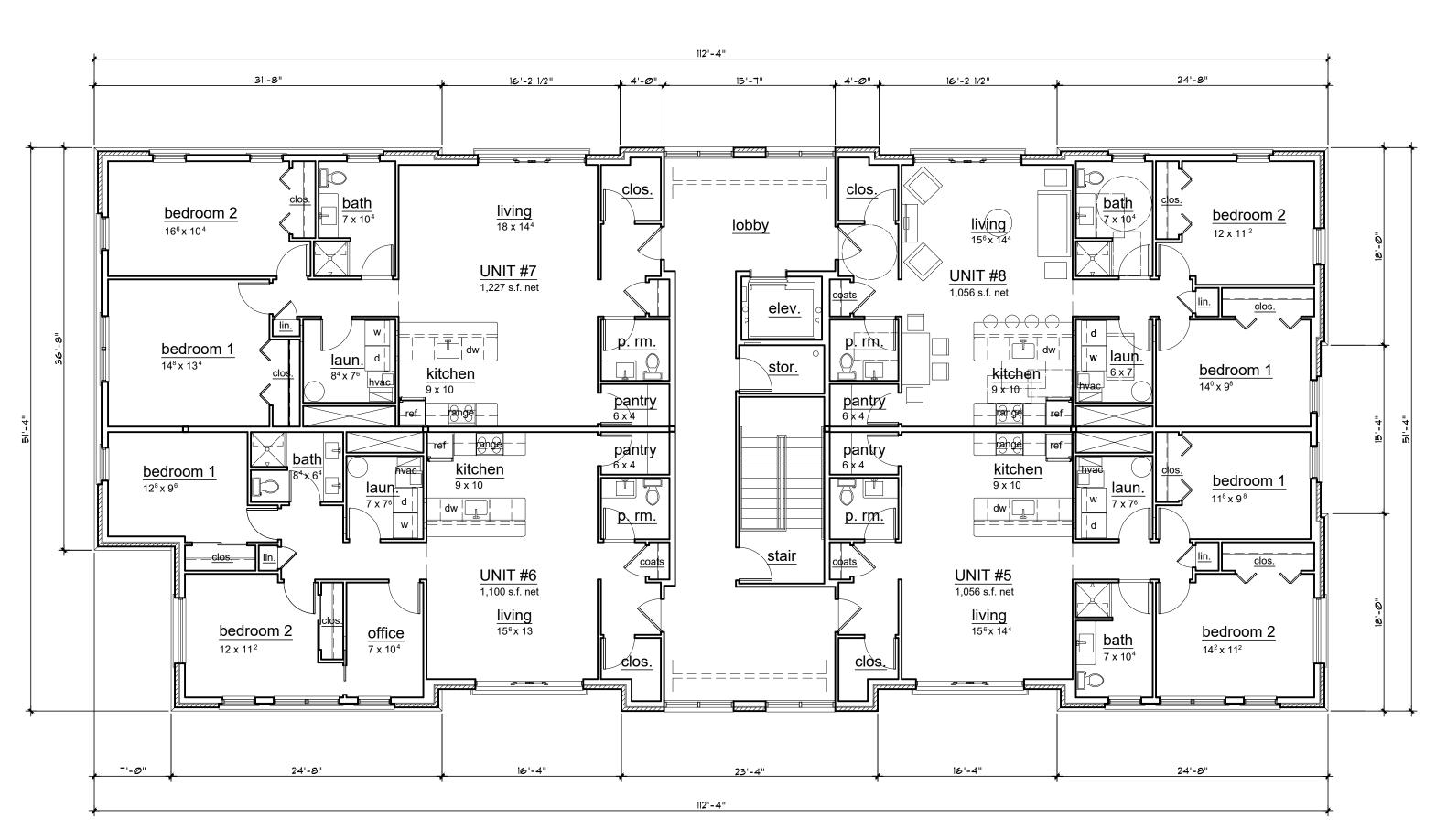
DBLXD Black

DWHXD White

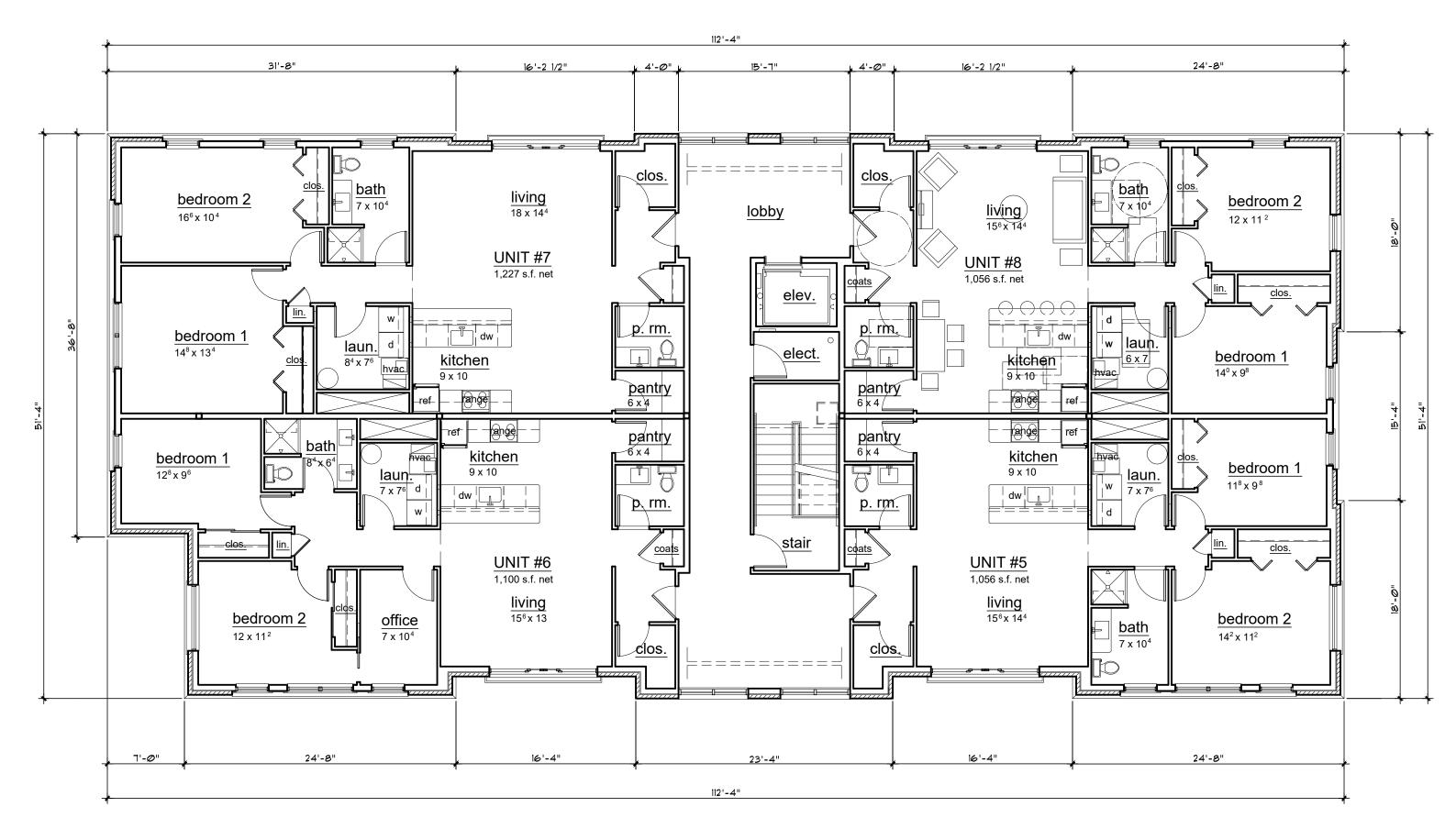


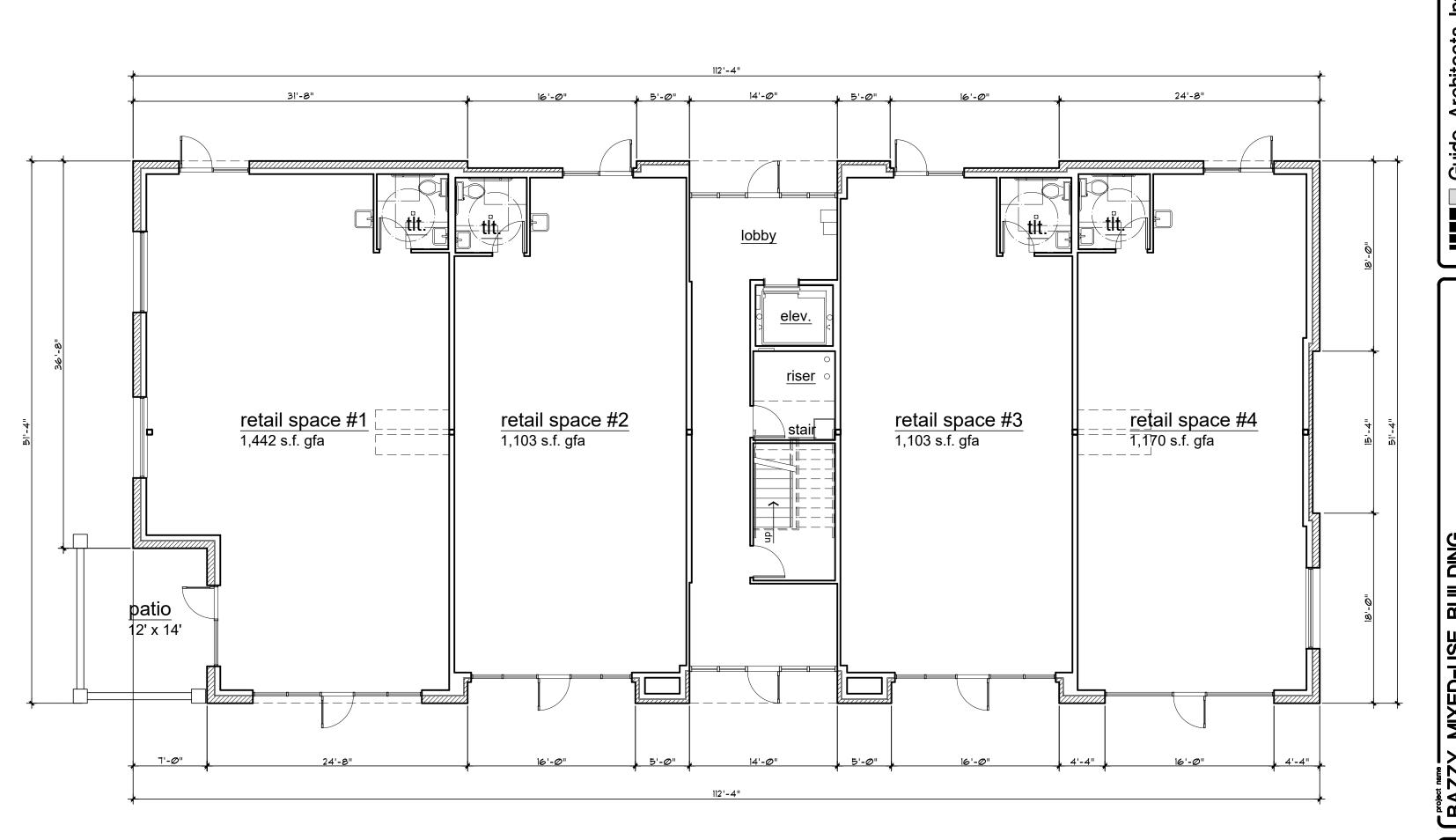
Designer BD/KB Date 10/30/2023 rev. 3/19/2024 Scale Not to Scale

Drawing No. #23-21290-V5









SECOND FLOOR PLAN

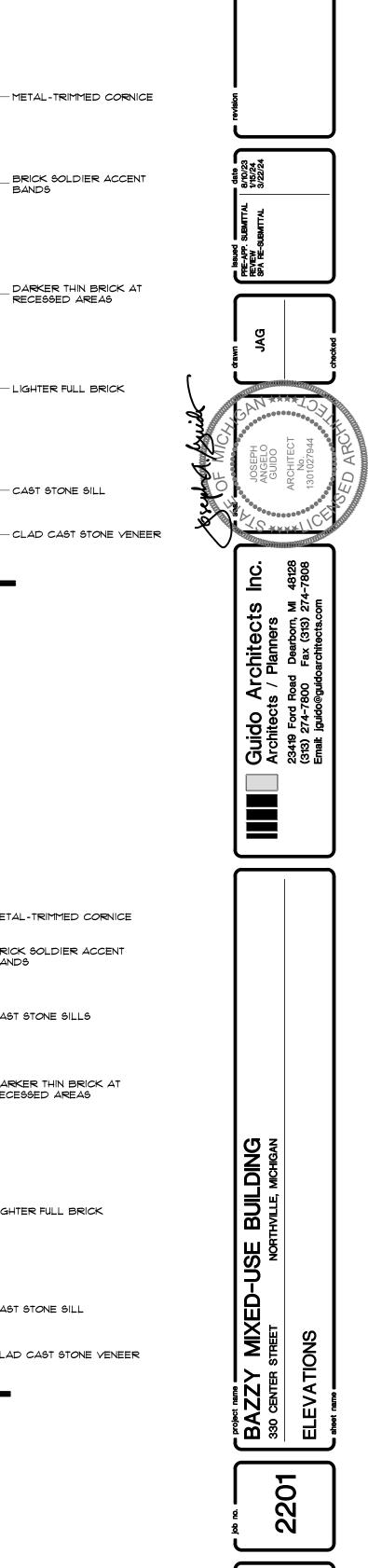
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

2201

A-1



SCALE: 1/8" = 1'-0"

36" PROJECTING CORNICE W/ DENTALS AT 24"o.c.

BRICK SOLDIER ACCENT — BANDS

CAST STONE SILLS

DARKER THIN BRICK AT -

RECESSED AREAS

LIGHTER FULL BRICK -

CLAD CAST STONE VENEER

PROJECTING METAL CANOPY -

WALL-MT'D. LIGHT FIXTURE -

- CAST STONE SILL

- FINISH GRADE

36" PROJECTING CORNICE w/ — DENTALS AT 24"o.c. METAL PANEL MECHANICAL SCREENS METAL-TRIMMED CORNICE BRICK SOLDIER ACCENT-BANDS BRICK SOLDIER ACCENT BANDS 37'-0" ROOF LINE BRICK SOLDIER ACCENT BANDS LIGHTER FULL BRICK — CAST STONE SILLS DARKER THIN BRICK AT -RECESSED AREAS BALCONIE _ DARKER THIN BRICK AT RECESSED AREAS DARKER THIN BRICK AT RECESSED AREAS COLORED-FRAME _ OPERABLE WINDOWS 25'-0" THIRD FLR LINE CAST STONE SILL — LIGHTER FULL BRICK - CAST STONE SILLS CLAD CAST STONE VENEER -- LIGHTER FULL BRICK 14'-0" SEC. FLR. LINE PROJECTING METAL CANOPY-FOR RETAIL SIGNAGE ARCHED BRICK SOLDIERS CLEAR VISION STOREFRONT VARYING STOREFRONT COLOR SCHEMES WALL-MT'D, LIGHT FIXTURE -- CAST STONE SILL CAST STONE SILL - CLAD CAST STONE VENEER - CLAD CAST STONE VENEER FINISH GRADE —

EAST ELEVATION

WEST ELEVATION SCALE: 1/8" = 1'-0"

NORTH ELEVATION

DARKER THIN BRICK AT — RECESSED AREAS

LIGHTER FULL BRICK —

SOUTH ELEVATION

JULIETTE BALLCONIES

ARCHED BRICK SOLDIERS

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: December 28, 2023 Rev.: February 26, 2024 Rev.: March 25, 2024

Combined Preliminary & Final Site Plan Review For City of Northville, Michigan

Applicant: BMB Investments, LLC

Al Bazzy, Member 4770 Greenfield Road Dearborn, MI 48126

Project Name: Mixed-Use Retail & Residential Project

Plan Date: August 10, 2023

Latest Revision: March 22, 2024

Location: 340 N. Center St.

(East side of N. Center, at southeast corner of intersection with Rayson)

Zoning: CBD – Central Business District

CBD-O, Central Business District Overlay

Action Requested: Combined Preliminary & Final Site Plan Approval

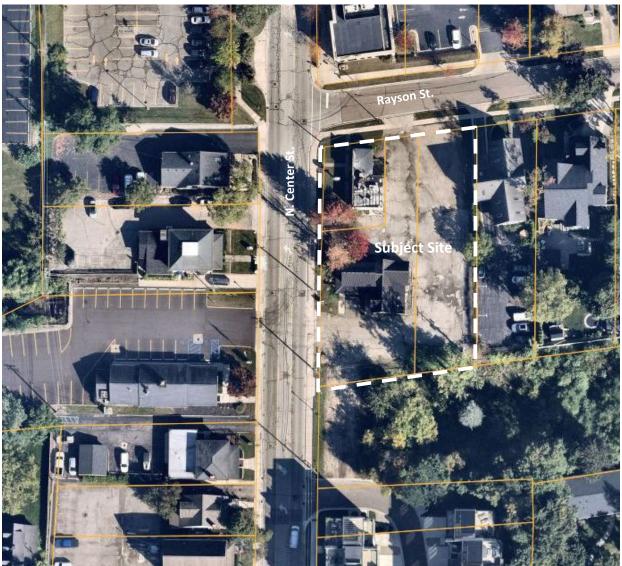
Required Information: As noted within this review

PROJECT AND SITE DESCRIPTION

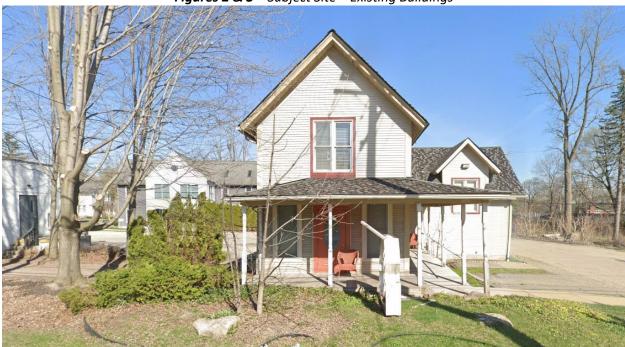
The applicant is requesting combined preliminary and final site plan approval for construction of a three-story, mixed-use building located at 340 N. Center Street (east side of N. Center at the southeast corner of Rayson St.). The first floor will be occupied by four (4) commercial units, and the upper floors occupied by a total of eight (8) residential units (four (4) on each floor). The site is made up of three (3) parcels for a total of 0.56 acres, and contains a portion of a box culvert accommodating the underground flow from the Randolph Street Intercounty Drain. Forty-four (44) parking spaces are proposed, all in a surface parking lot to the side and rear of the proposed building.

An aerial photo of the subject site and street view photos of the existing buildings are provided on the next pages.

Figure 1 – Subject Site



Source: Near map (Image capture October 2, 2023)



Figures 2 & 3 – Subject Site – Existing Buildings



The Planning Commission discussed the project at their January 9, 2024 meeting and March 5, 2024 meeting, referring it back to the applicant at both meetings. The minutes indicate that there was consensus among the Commissioners for the mixed-use nature of the project, as well as the proposed street tree arrangement and streetscape amenities. The remaining outstanding items include:

- Corner building treatment, including the north elevation façade; and
- Stormwater alternatives

This review considers the revised plans.

ZONING AND DENSITY

The subject site is currently zoned CBD, Central Business District, and Central Business District Overlay (CBD-O). Retail and multi-family residential uses are permitted by right within the CBD-O District. The Overlay district allows a mix of land uses to serve the commercial and residential needs of the community. This district is designed to promote development consistent with the City of Northville Master Plan, and in a manner which assures quality building design and site development.

The proposed project density is 14 units to the acre. The CBD and CBD-O do not provide any specific density requirements for residential developments. In addition, the 2018 Master Plan doesn't specifically indicate a numerical density for the North Center Street subarea. However, other regulations, such as setbacks, parking, and height, all work together to limit density based on the size of the parcel. In addition, the location of the underground box culvert and associated drainage easement on this site also limit the potential size of a building. We have considered this, and the following information provided in the Master Plan:

- The 2018 North Center Street Subarea plan identifies this area as a major thoroughfare and attractive gateway to the downtown area. The following are additional policies regarding development of this subarea:
 - Narrow lot width and limited lot depth may require consolidation for extensive redevelopment.
 - Buildings should maintain a ten to fifteen-foot setback for property sight lines.
 - New development shall provide an architectural style which is compatible with existing neighborhood character.
 - Parking shall be located in the side or rear yards as specified.

In our opinion, the subject site and proposal are fairly consistent with these policies.

- 2. The 2018 Master Plan includes a future land use category called "Multi-Family Townhouse/ Apartment," that calls for a range of approximately 6-12 units per acre. This future land use category is consistent with the R-3 and R-4 zoning districts.
- 3. The 2021 Master Plan update does not address North Center Street.

North Center St. also serves as one of the City's main entry ways. However, this part of town has several unique characteristics. First, the existing commercial buildings don't share common walls like downtown Northville, and are set back from the street edge, with surface parking lots in front of the buildings. The Overlay district is attempting to modify this arrangement by requiring buildings to have a small setback from the street right-of-way, and allowing buildings to offer a mix of uses, establishing commercial uses on the first floor with office or residential above.

The North 3 Twenty project (new townhouse development to the south) has a density of 16 dwelling units to the acre.

Considering that the proposed development meets the setback, parking and height requirements of the CBD-O district (as discussed further in this review), we think that the proposed density is reasonable.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

The proposed development must conform to the schedule of regulations for the CBD, Central Business District, and where required, the CBD-O, Central Business District – Overlay, as provided in Section 10.05. The standards for the CBD district, as well as the CBD-O district, are summarized in **Table 1** below.

Table 1: Schedule of Regulations, CBD and CBD-O Districts

	2			Com	olies?
	Required (CBD)	Required (CBD-O)	Provided	CBD	CBD-O
Lot Area	N/A	N/A	24,218 s.f. (0.56 ac)	✓	~
Lot Width	N/A	N/A	N. Center: 191 ft. Rayson St.: 125 ft.	✓	√
Setbacks					
Front	N/A	10 min. – 15 ft. max.	N. Center: 10 – 12 ft.* and Rayson: 10 – 17 ft. **	√	(See Below)
Side	N/A	N/A	65.2 ft.	✓	✓
Rear	20 ft.	20 ft.	63.9 ft.	✓	✓
Lot Coverage	N/A	N/A	N/A	✓	✓
Building Height	3 stories; 42 ft.	3 stories, 42 ft.	3 stories, 37 ft.	✓	✓

^{*}Sidewalks are required along all street frontages. The Overlay district requires, where possible, that sidewalks be positioned five (5) feet from the curb for public safety and to facilitate pedestrian connections between residential and commercial areas. The existing sidewalk next to this site along Rayson St. is already setback from the curb. However, the sidewalk along N. Center St. is directly adjacent to the curb. The proposal has revised the location of the sidewalk along N. Center St., and now locates the public walk 8-9 feet from the edge of the curb, meeting this requirement. The width of the greenbelt will provide a viable growing area for street trees. The new public sidewalk is wholly on the subject site, and will require an easement to the City. At the last meeting, the applicant's agent stated that the applicant will provide the required easement. The revised plans also locate pavement directly next to the commercial store fronts of the building, which allows customers to browse the displays in the windows.

Items to be Addressed: None.

^{**}Section 10.05(e) allows up to 20% of the building frontage (or façade of building abutting a public street right-of-way) to exceed the maximum front setback requirement for an entry court or plaza area. The project proposes to locate an outdoor patio at the northwest corner of the building. The dimensions of the plaza facing N. Center St. is within the 20% allowance.

NATURAL RESOURCES

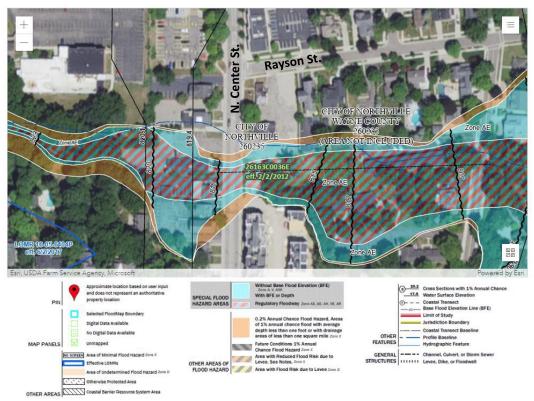
Topography

Topography on the site is relatively flat, with an average 2.8% slope from the northwest corner down to the southeast corner of the site. This topography has been created over the years due to past development of the two buildings and associated parking areas.

Floodplain

The Randolph Street Intercounty Drain traverses the south end of the site in an underground pipe (or "box culvert"), and is daylighted (or comes to the surface) on the property to the south. See the sheet titled "Topographic Survey." This sheet also shows that the box culvert occupies a 60-foot wide permanent easement.

Sheet SP02, *General Site Plan*, shows information about the Randolph Street Drain floodplain. It identifies the floodplain as illustrated on the Federal Emergency Management Agency (FEMA) map below:



Source: msc.fema.gov

Per the FEMA map, the southern end of the site is located in "Zone AE" (blue shading). Zone AE are areas that have a 1% probability of flooding every year (also known as the "100-year flood plain"). Properties in this zone are considered at high risk of flooding under the National Flood Insurance Program. The AE zone is considered to be in a Special Flood Hazard Area, and is lower than the Base Flood Elevation. The proposal only locates an asphalt surface parking lot in this zone, and no buildings. This area is currently occupied by an asphalt parking lot.

The FMEA map also identifies a small area as "Zone X" (orange shading) at the southern end of the site, which is a moderate- to low-risk area. It is depicted on the Flood Hazard Boundary Map as above the 500-

340 N. Center St. – Mixed-Use Retail & Residential Project March 25, 2024

year flood level. An asphalt surface parking lot is also proposed within Zone X on site. As above, this area is currently occupied by an asphalt parking lot.

This sheet also identifies the floodplain per survey elevations between 815 and 817. The finished floor of the proposed building is at an elevation of 820, and therefore out of the flood prone areas. We defer review of all improvements in the 100-year flood plain to the City Engineer during the engineering review stage.

Existing Trees

Two (2) 12-inch Diameter at Breast Height (DBH) trees, and three (3) 6-inch DBH deciduous trees currently exist on site. Sheet LP-1, Landscape Planting Plan, indicates that these trees are Red Maples, and will be removed. Removal of these trees will require planting of eight (8), 2.5" caliper replacement trees. The Tree Preservation ordinance allows other mitigation techniques, which we discuss in the *Landscaping* section below.

Items to be Addressed: 1) Defer review of improvement in the 100-year floodplain to the City Engineer during the engineering review stage.

BUILDING LOCATION AND SITE ARRANGEMENT

This site is located at a street intersection, and the building is proposed as a "corner" building located close to the corner, and parallel to N. Center Street. The minimum setbacks along this street frontage allow room for landscaping, and an entry portico. (See additional comments under the *Floor Plans and Elevations* section below.) The building's relationship to Rayson is secondary, but the plans call for a patio at the northwest corner of the building, which is accessible from the building. We consider the patio a positive aspect of the plan.

Per the ordinance, the parking is located to the south side and rear of the building, and no parking is proposed between the building and the street.

In our opinion, this is a desirable arrangement, as it emphasizes the street corner and creates an attractive street façade. It orients the commercial unit entrances, and the main upper floor residential entryway, along the street. It also allows space for street trees, and screens parking from the street.

Items to be Addressed: None.

PARKING

The Overlay district references the parking requirements in Section 17.02 of the Zoning Ordinance. The table below shows how this proposal addresses the parking requirements for both uses.

Table 2: Parking Calculations

	Parking Required	Parking Credits	Parking Provided	
General Retail sales and service establishments, not elsewhere classified	1 space per each 200 s.f. of gross floor area 4,813 s.f. / 200 = 24 spaces		44 total spaces	
Residential – CBD Zoning District	2.5 per 2-bedroom unit 8 two-bedroom units = 20 spaces	2,017 s.f. / 250 = 8 parking credits		
Barrier-free Parking Spaces	2 spaces (included in total above)		2 spaces (included in total above)	
TOTAL	44 spaces	8 parking credits		
	44 required spaces – 8 parking credits = 36 required spaces (without a restaurant)		44 spaces	

Number of Spaces

The proposal meets parking requirements for the residential uses and general retail and service establishments. The eight (8) parking credits could accommodate a coffee shop or take-out restaurant in the one commercial unit next to the patio. As requested, the applicant's response memo describes the patio as an outdoor dining area for the adjacent restaurant's use.

The response memo also states that the 16 residential parking spaces will be marked with a sign as reserved for the residential units after 6pm. (Note that the 4 additional residential parking spaces are for visitors, which can be accommodated throughout the lot.) The signs are shown on Sheet SP-1.

The Planning Commission requested that we talk with the owner of 114 Rayson (directly to the east of this site) to confirm that there are no existing shared parking agreements between the project site and this neighbor. The owner of the building states that there are no existing agreements. Also, the owner stated that there are no current agreements between 114 Rayson and the brew pub site. And the need for a parking agreement between 114 Rayson and the brew pub building was eliminated when the Planning Commission approved the existing lot as being adequate at the November 15, 2022 meeting.

Parking Lot Dimensions

The dimensions of the proposed driveway, maneuvering lanes, and parking spaces meet ordinance requirements for width and length. (Note that Sec. 17.04(m) allows spaces to overhang the parking lot perimeter by up to two (2) feet.) The project is using this provision along the southern and eastern parking lot perimeters.)

The dimensions of the barrier-free parking spaces also meet ordinance requirements. The proposal offers at least one "van-accessible" barrier-free space as required.

Items to be Addressed: None.

SITE ACCESS AND CIRCULATION

Vehicles

Vehicles access the site via two driveways, one off of N. Center St. and one off of Rayson St. The minimum required width of a driveway is 20-feet wide. Both meet this dimension.

The new driveways are in the same general vicinity as the existing driveways. We consider the location of these access points appropriate, as they separate vehicles using this site away from the N. Center/Rayson St. intersection.

Circulation of a garbage truck is shown on Sheet SP02.1. The plan shows that a garbage truck can access and maneuver on the site. Interaction with the loading/unloading zone clearly shows that garbage pick up will need to be coordinated during off-hours for the commercial businesses.

Loading/Unloading

A loading space is identified on Sheet SP-1 on the south end of the parking lot. The ordinance does not require a loading space for commercial units of the proposed sizes; however, the proposed space will accommodate a medium-sized delivery truck/van. As requested, the applicant's response memo states that based on anticipated uses, deliveries would most likely be made by standard vans or small box trucks, which could be accommodated by the proposed space. (Note that the Planning Commission approved parking delivery trucks for the building to the south in the center lane on N. Center St.)

Pedestrians

Pedestrian sidewalks provide access from the new N. Center St. public walk to the individual commercial units, and the main entrance to the upper floor apartments. A new five-foot wide sidewalk is also proposed along the rear façade of the building. (Note that the width is acceptable here because the project is proposing wheel stops that will keep vehicles from encroaching on the sidewalk and reducing the usable width.) As suggested, a sidewalk has been added along the south façade of the building (between the foundation landscaping and the parking spaces) so that a pedestrian may walk from the N. Center sidewalk to the rear of the building without having to walk through the parking lot.

Sheet SP-1 shows two bike racks at the front door on N. Center St., and the revised plan shows two more bike racks at the back door for the apartment dwellers.

Items to be Addressed: None.

LANDSCAPING

A landscape plan has been provided. We have the following comments:

Street Trees

One tree per 40 lineal feet of frontage is required in the CBD-O. This site requires eight (8) street trees (316 / 40 = 8). Eight (8) trees are provided along N. Center St. that meet the minimum size requirements of the ordinance. These trees are located between the curb and sidewalk, as a typical street tree. The entire street tree requirement is addressed along N. Center St. The trees proposed along Rayson St. are not identified as "street trees." However, other trees are provided along this frontage (labeled as "replacement" trees and "parking lot" trees). As indicated at the last meeting, the Planning Commission agreed that the tree placement was acceptable.

No trees are proposed within the Clear Vision Zone at the corner of N. Center and Rayson St. The proposed shrubs in all Clear Vision Zones will remain under the 30" maximum height. The proposed landscape wall around the patio will also be within the maximum 30" height permitted in a Clear Vision Zone.

Streetscape Furnishings

The Overlay district calls for streetscape furnishings, including street trees, tree grates, special concrete finishing, pavers, and decorative lighting along the N. Center Street frontage. The project includes street trees, pavers along the building façade, and substantial landscaping. It also includes a proposed patio at the northwest corner of the building surrounded by a 30" tall brick wall. The applicant's previous response memo states that the existing street light fixture will remain. At the last meeting, the Planning Commission consensus that the proposal meets this requirement.

Parking Lot Buffer Along Right-of-Way

A minimum six-foot wide buffer is required between a parking lot and street right-of-way or sidewalk. The buffer shall include one (1) tree and ten (10) shrubs per 40 lineal feet, decorative fencing, or masonry screen wall.

The parking lot abuts both streets for a distance of sixty (60) feet in length. This would require at least one (1) shade tree and 10 shrubs. The proposal meets these requirements.

Vehicular Use Area

Landscaping that equals 1.5 square feet for each 100 square feet of vehicular use area is required as "interior" landscaping. One tree per 100 square feet of interior landscape area is also required. Sheet LP-1 shows the vehicle use area to be 12,576 square feet, which would require 189 square feet of interior landscaping (12,576 / 100 x 1.5 = 189 s.f. interior landscaping), and two (2) trees (189 / 100 = 2 trees).

The plans show interior parking lot islands that total 582 square feet, and two (2) trees.

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Tree Replacement

As mentioned above in the *Natural Resources* section of this review, the project will remove existing trees on site. The ordinance requires the planting of eight (8) replacement trees to mitigate for this removal.

The Landscape Planting Plan shows five deciduous trees that meet the minimum size requirements (2.5" caliper) in the Tree Preservation Ordinance as replacement trees. The two, 8-foot tall evergreens along Rayson St. can also be counted as replacements. Lastly, the two ornamental trees (2" caliper 'Obelisk' Serviceberry) can also be counted together as one replacement tree. The tree replacement requirements are met.

Trash Receptacle

The site plan indicates that a dumpster and screen will be located in the southeast corner of the parking lot (or rear yard, as required). A detail of the screen wall is provided on Sheet SP-1, showing a block wall faced with brick, which will complement the proposed brick façade of the building.

Irrigation

A note on the Landscape Planting Plan indicates that all landscaped areas, including parking lot islands, will receive an underground irrigation system.

Items to be Addressed: None.

LIGHTING

Lighting information has been provided.

Street Lights

As mentioned above, one decorative streetlight currently exists on N. Center St. adjacent to the project site. The streetlight will be retained.

Building Mounted Light Fixtures

Sec. 18.05 requires that lighting shall be shielded or otherwise positioned so that the source of light does not adversely affect driver or pedestrian visibility, and does not adversely affect adjacent properties. The proposed building-mounted light fixture has been changed. The manufacturer information on these fixtures has been provided, and fixture "A" (Bega) is shielded and directs the light downward.

Pole Mounted Light Fixtures

Manufacturer information has been provided regarding the proposed pole-mounted light fixtures, showing that they are downward facing, and can accept a shield if necessary. The proposed mounting height at 20-feet is within ordinance limits.

Light Levels

The proposed lighting levels meet ordinance requirements on site and at property lines.

Items to be Addressed: None.

SIGNS

No sign information has been provided. We assume this is because the tenants of the building are not yet known. We defer evaluation of the proposed signage to the Building Official once a Sign Permit Application has been submitted.

Items to be Addressed: Defer evaluation of signs to Building Official once a Sign Permit Application has been submitted.

UTILITIES

The Planning Commission discussed the ordinance standard that states: "Future development shall incorporate Low Impact Development (LID) techniques for stormwater management where practicable."

As indicated in our previous review, we asked the Department of Public Works Director if they are in favor of LID techniques (such as bioswales, infiltration areas, or rain gardens) at this site. He responded favorably, and would support these types of stormwater management techniques in all new site plans, as long as the site allows for it. The revised plans show a bioswale at the north end of the site, surrounded by Red-twig Dogwood (an appropriate species for these conditions). This bioswale will help to infiltrate and clean the runoff from the roof.

The applicant has provided a memo from their project engineer indicating how much of the roof runoff will be captured by this bioswale, and how it will function. We have also requested comments from the City's Engineer on the proposal, and will report them to the Planning Commission at the upcoming meeting.

Items to be Addressed: Coordinate stormwater and utility connections with City Engineer and DPW Director.

FLOOR PLANS/ ELEVATIONS

Revised floor plans and elevations have been provided. The applicant indicated that they will be providing renderings at the upcoming Planning Commission meeting. Note that the Planning Commission' last motion asked the applicant to address the "corner treatment, including the north elevation façade."

The Overlay district includes a number of architectural design standards. We have listed them below (*in italics*), and have provided comments after each.

- a. Architecture: It is the intent of the Central Business District Overlay Zone to provide high-quality building materials and complimentary building architecture. Architectural guidelines shall include the following:
 - First floor architecture shall be compatible with sidewalk areas and shall provide an attractive interface between buildings and pedestrians. This shall be accomplished with generous window areas, recesses, and architectural detail.

CWA Comments:

- West façade: The ground floor of the west-facing façade offers glass store fronts under metal canopies. The latest building design provides a column-type divider between the commercial units, offering more pronounced projections and recesses. The plans note that varying storefront color schemes will be provided. Also, on each end of this facade, the upper windows are recessed, and set off with a darker-colored brick, differentiating these upper levels from the ground floor. "Eyebrows" over the upper windows have been eliminated, and the brick soldier bands are consistently located above the above the windows. Another change is a more pronounced foundation, helping to ground the building. The sidewalks are directly adjacent to the commercial windows to allow customers to window shop, like a traditional downtown and the building to the north.
- <u>East façade</u>: The same modifications made to the west façade have also been made to the east façade. This façade will be viewed from the parking lot.
- <u>South façade</u>: The south façade features the recessed upper window cluster, and more pronounced foundation treatment. The storefront window lines up with the small upper level windows. The upper level windows have been shortened to, we assume, allow for furniture placement in the bedrooms.
- North façade: This façade incorporates many of the changes described above. Additional changes include a recessed door from the outdoor dining patio into the commercial unit, two large windows on the ground floor, and two new windows above the patio door (in the bedrooms above). These changes create a "front" façade along Rayson St. compared to the previous design.
- Buildings shall have an orientation to the street and front sidewalk, with a functioning entrance which enhances the continuity of the pedestrian-oriented environment.
 - <u>CWA Comments</u>: The building is oriented toward N. Center St., and the front sidewalk. Both the commercial units and the apartment building have functioning entrances to N. Center St. The commercial unit on the north side has a third entryway to the patio along Rayson St.
- Where possible, there shall be a minimal grade differential between the elevation of the sidewalk and the first floor elevation of the adjoining building.
 - <u>CWA Comments</u>: The access walks to the commercial units and apartments along N. Center St. are flush with the public sidewalk. All of the commercial units are accessible without stairs from the rear. The patio is also accessible from the northern-most commercial unit.
- Building entries shall be readily identifiable and accessible, with at least one (1) main entrance, and shall open directly onto the public sidewalk.
 - **CWA Comments**: See comments above.
- Architecture will be evaluated based upon its compatibility and relationship to the adjacent buildings and uses, and vice versa.
 - <u>CWA Comments</u>: The proposed architecture has been further revised based on Planning Commissioner's comments, and is compatible with the surrounding buildings, and the character of Northville in general.

Building materials shall be high-quality and compatible with surrounding architecture. Exterior
insulation and finish systems (EIFS) may only be used for architectural detailing above the first
floor.

<u>CWA Comments</u>: The building is sided with various colors of brick, using decorative soldier courses on various parts of the building. The facades also have cast stone window sills and foundation treatment that add interest to the façades. This design contains more windows, which appears balanced and consistent with traditional architecture. The windows on the north façade also eliminate blank walls, and create a "front" building design. The Juliet balconies and the more refined center entryways create a design that is highly compatible with the relatively new building across Rayson St.

 All rooftop mechanical equipment shall be screened from view in accordance with Section 18.11.11.

<u>CWA Comments</u>: Screening of rooftop equipment is shown on the building elevations. Also, the applicant's previous response memo, and their comments at the last Planning Commission meeting, state that they have eliminated the exposed grilles on the exterior building faces related to the HVAC equipment.

- b. Corner Building Standards.
 - Standards: Corner buildings and structures shall incorporate distinctive features, materials, designs, height levels, and colors that are sensitive to the flanking buildings. Wider sidewalks and/or further setback from the corner's edge is encouraged to retain a line-ofsight through the corner.

<u>CWA Comments</u>: A portion of the north façade of the building steps back from N. Center St. The space vacated by the building is filled with a patio for outdoor dining at the corner, surrounded by a low brick wall with pillars. The building itself now has a cornice along the roofline wrapping the corner, making this corner a more prominent feature of the building. Coupled with the revised north "front" elevation treatment and the walled outdoor dining area, we consider these features to create a distinctive corner treatment.

2) Form and Function: Use of ground level open-aired areas at the intersection of the sidewalks is encouraged. The design of open-aired areas or pedestrian plazas adds aesthetic distinction to the façade and compliments the pedestrian atmosphere of North Center Street. Integrating covered/uncovered seating and resting areas is highly encouraged.

<u>CWA Comments</u>: The applicant has clarified that the patio area will be used by folks dining in the northern-most unit of the building. Diners using the patio will be able to view and interact with pedestrians, complementing the pedestrian atmosphere of N. Center St.

Items to be Addressed: None.

RECOMMENDATIONS

The proposed project will redevelop underutilized properties within the Central Business District (CBD) and Overlay District (CBD-O) along N. Center St. In our opinion, the proposal meets the intent of the CBD-O to provide for mixed uses within the district. If the Planning Commission agrees with the latest round of plan changes, we recommend granting combined Preliminary and Final Site Plan approval, conditioned upon the following:

- A. **Natural Resources**: Defer review of improvement in the 100-year floodplain to the City Engineer during the engineering review stage.
- B. **Signs:** Defer evaluation of signs to Building Official once a Sign Permit Application has been submitted.
- C. **Utilities:** Coordinate stormwater and utility connections with City Engineer and DPW Director.

CARLISLE/WORTMAN ASSOC., INC

Sally M. Elmiger, AICP, LEED AP

Principal

153-2207

Cc: George Lahanas, City Manager Shari Allen, Building Department

Craig Strong, Building Official

Joseph A. Guido (jguido@guidoarchitects.com)

340 N. Center St.

Draft Motions

Approval – Combined Preliminary & Final Site Plan

Based on the information received from the applicant, and reflected in the minutes of this meeting, the Planning Commission finds that the proposal at 340 N. Center St., dated March 22, 2024, meets the required standards and findings for Preliminary Site Plan and Final Site Plan approval (Section 19.05) of the Zoning Ordinance, and approves the Combined Preliminary Site Plan and Final Site Plan, with the following conditions:

- A. **Natural Resources**: Defer review of improvement in the 100-year floodplain to the City Engineer during the engineering review stage.
- B. **Signs:** Defer evaluation of signs to Building Official once a Sign Permit Application has been submitted.
- C. **Utilities:** Coordinate stormwater and utility connections with City Engineer and DPW Director.

-OR-

Refer Back to the Applicant – Combined Preliminary & Final Site Plan

Move to refer the request for Combined Preliminary and Final Site Plan approval proposed at 340 N. Center St., dated March 22, 2024, back to the applicant to allow the applicant time to address the following items:

	-OR-	

Denial – Combined Preliminary & Final Site Plan

Based on the information received from the applicant, and reflected in the minutes of this meeting, the Planning Commission finds that the proposal at 340 N. Center St., dated March 22, 2024, does not meet the required standards and findings for Combined Preliminary Site Plan and Final Site Plan approval (Section 19.05) of the Zoning Ordinance and denies the Combined Preliminary Site Plan and Final Site Plan.

This act	ion is also based on the fact that the request is not in compliance with
A.	
В.	
C.,	